

**POCONO TOWNSHIP BOARD OF COMMISSIONERS**  
**MEETING AGENDA**  
**April 4, 2016**  
**7:00 P.M.**

- 1) Pledge of Allegiance
- 2) Roll Call
- 3) Announcements
  - a. Spring cleanup will be 5/5, 5/6, and 5/7.
- 4) Approval of Minutes
  - a. Commissioners Regular Meeting, March 21, 2016
  - b. Commissioners workshop, March 29, 2016
- 5) Approval of Bills and Transfers
  - a. Check Listing, dated April 4, 2016
- 6) Amendments to Agenda
- 7) Public Comment

Comments are for any item NOT on the agenda. Comments on agenda items will be taken after each item is discussed by the Board of Commissioners, but before formal action is taken. (Please limit individual comments to 3 minutes to allow time for others wishing to speak and direct all questions and comments to the President)

- 8) Report of the President
- 9) Commissioners Comments
  - a. Mr. Harold Werkheiser, Vice President
  - b. Ms. Judi Coover, Commissioner
  - c. Mr. Bob DeYoung, Commissioner
  - d. Mr. Gerald Lastowski, Commissioner
- 10) Reports
  - a. Emergency Services (second meeting of month)
    - i. Chief Werkheiser – Pocono Township Police
    - ii. Chief Shay – Pocono Township Volunteer Fire Co.
    - iii. Mr. Albertson – Suburban EMS
  - b. Administration
    - i. Mr. Schuster – Township Manager
      1. Dump Truck Purchase
    - ii. Mr. Benner – Township Engineer
      1. Marona – Payment request #3
    - iii. Mr. DeVito – Solicitor
      1. St. Luke’s Emergency Plan Agreement
    - iv. Ms. Zuvich – Treasurer
- 11) Presentations
  - a. Heritage Center Proposal
    - i. Park Shed
  - b. Recreation Committee Interview – Tony Farda
  - c. Quaker Ridge Extension Request
  - d. Conditional Approval - Robert A. Ace, Jr. Construction, LLC
  - e. Conditional Approval - Sanofi Flu Building and CUP Building
  - f. Sanofi rezoning request
  - g. Police IT
  - h. Alger Avenue Yard Project

- i. Appointment of COG Representative
  - j. Appointment to the Finance Committee
- 12) Ordinances
- a. BCRA Water Service Area Ordinance Public Hearing
  - b. BCRA Water Service Area Ordinance
- 13) Resolutions
- a. A resolution approving an agreement with TRIJAY
  - b. A resolution approving an agreement with Pocono Mountain Regional Police
  - c. A resolution approving 2015 supplemental appropriations
- 14) Public Comment

Comments are for any item NOT on the agenda. Comments on agenda items will be taken after each item is discussed by the Board of Commissioners, but before formal action is taken. (Please limit individual comments to 3 minutes to allow time for others wishing to speak and direct all questions and comments to the President)

- 15) Executive Session (If Necessary)
- 16) Adjournment

Next Regular meeting – April 18, 2016 (7:00 p.m.)  
Next Special meeting – April 5, 2016 (5:00 p.m.)

Next Resolution Number: 2016-19  
Next Ordinance Number: 2016-01

**POCONO TOWNSHIP BOARD OF COMMISSIONERS  
REGULAR MEETING**

**MARCH 21<sup>st</sup>, 2016 7:00 P.M.**

The regular meeting of the Pocono Township Commissioners was held on 03/21/2016 at the Pocono Township Municipal Building, Tannersville, PA, and was opened by Commissioner Jerry Lastowski at 7:00 p.m., followed by the Pledge of Allegiance.

**ROLL CALL:** Tom Felver, absent; Harold Werkheiser, by phone; Jerry Lastowski, present; Robert DeYoung, present; and Judi Coover, present.

Leo V. DeVito, Broughal & DeVito LLP, Solicitor, Schuster, Twp. Manager; Regina Zuvich, Treasurer; and Pamela Finkbeiner, Twp. Secretary; were present.

**ANNOUNCEMENTS:**

Spring Cleanup will be 05/05, 05/06, and 05/07.

An executive session was held on 03/18/2016 at 4:00 p.m. to discuss a personnel issue.

**APPROVAL OF MINUTES:**

J. Coover made a motion, seconded by B. DeYoung, to approve the minutes of the 03/07/2016 regular meeting. Roll call vote: J. Coover, yes; H. Werkheiser, yes; B. DeYoung, yes; and J. Lastowski, yes. Motion carried.

J. Coover made a motion, seconded by B. DeYoung, to approve the minutes of the 03/16/2016 special meeting. Roll call vote: J. Coover, yes; H. Werkheiser, yes; B. DeYoung, yes; and J. Lastowski, yes. Motion carried.

**APPROVAL OF BILLS AND TRANSFERS:**

J. Lastowski made a motion to approve the Bill's list of 03/21/2016, failed for lack of second.

J. Coover made a motion, seconded by B. DeYoung, to approve the Bill's list of 03/21/2016, excepting invoices from T&M Associates and Broughal & DeVito until the invoices can be reviewed. Roll call vote: J. Coover, yes; H. Werkheiser, yes; B. DeYoung, yes; and J. Lastowski, yes. Motion carried.

J. Coover questioned the PPL Invoice and breakdown. Jeffry Clapper, Public Works Director noted PPL has been contacted to review the energy costs for the Township buildings.

**AMENDMENTS TO AGENDA: None**

**PUBLIC COMMENT:**

Ellen Gndt, Twp. resident, requested a Balance sheet and profit & loss statements for all funds be included in future Treasurer's reports.

Diane Zweifel, Twp. resident, questions concerning the Treasurer's report.

**REPORT OF THE PRESIDENT: Absent**

**COMMISSIONERS COMMENTS:**

Vice-President Harold Werkheiser, no comment.

Commissioner Judi Coover, requested the Township join PML (Pennsylvania Municipal League, and PSATC (Pennsylvania State Association of Township Commissioners. Discussion followed.

J. Coover made a motion, seconded by B. DeYoung, to become members of PML and PSATC for 2016 - PML - no cost first year, and PSATC for \$3,188.55 per year. Roll call vote: J. Coover, yes; H. Werkheiser, yes; B. DeYoung, yes; and J. Lastowski, yes. Motion carried.

By-Laws - J. Coover requested the by-law amendments be tabled until a workshop is scheduled to discuss changes. J. Coover made a motion, seconded by J. Lastowski, to table the by-laws, authorize a special workshop meeting on Tuesday 03/29/2016 at 5:00 p.m. and authorize the Twp. Secretary to advertise the same. Roll call vote: J. Coover, yes; H. Werkheiser, yes; B. DeYoung, yes; and J. Lastowski, yes. Motion carried.

Commissioner Jerry Lastowski, none.

Bob DeYoung, Commissioner, none.

**REPORTS:**Emergency Services -

**Pocono Township Police** Chief Kent Werkheiser spoke concerning the Narcan program for opioid overdoses. Nick DeWitt, Suburban Ambulance, explained they offer a 30 minute training session for Police Officers to identify overdoses and the use Narcan. Discussion followed. Suburban will offer the first round of Narcan free, additional kits average \$59.00 each. Jeffery Roach, PMC, stated they have treated 100 cases of heroin overdoses since January of this year. Discussion followed.

**Pocono Township Volunteer Fire** Company Chief Mike Shay absent

**Suburan EMS** - Nick DeWitt, reviewed their January report. Discussion followed. J. Coover questioned if they have considered districts within the Township. A plan for North and South coverage will be presented to the board next month.

Administration -

Manager Gregg Schuster gave his report.

A) 2016 Vehicle Purchases -

Recommended vehicle purchases:

1. Single Axel Dump Truck - \$90,292.00 with upfitting for a total cost of \$144,112 - Existing 1997 Single Axel Dump Truck to be auctioned.
2. 2016 F-250 Ford Pickup including 9' plow - \$32,249.00
3. Kubota Tractor - Park to replace current tractor. Estimated \$15,035. Existing tractor to be auctioned.
4. Police Cruiser - Estimated at \$47,000 - Existing Police sedan to be transferred to Public Works.

J. Coover noted the vehicle purchases was part of the Capital Improvement Plan. Jeffery Clapper explained the Public Works needs for vehicles.

**VEHICLE PURCHASES CONT:**

Discussion followed on new versus used vehicles, use of smaller vehicles, body type, restoration efforts of existing truck bodies, etc.

Scott Gilliland, Twp. resident, commented on used versus new vehicle purchase.

Brad Wise, Twp. resident, commented on the current state of Public Works vehicles and the CIP committee's recommendations.

J. Coover requested a listing of the police vehicle fleet and time to review the DCED recommendations. H. Werkheiser requested additional time to decide the Dump truck purchase. The Board requested additional time to review the police vehicle and Dump truck purchase.

J. Coover made a motion, seconded by J. Lastowski, recommend the purchase of 1) The Kubota Tractor estimated at \$15,035, conditioned upon the existing Tractor to be sold; and 2) 2016 F-250 Ford Pickup including 9' plow. Roll call vote: J. Coover, yes; H. Werkheiser, yes; B. DeYoung, yes; and J. Lastowski, yes. Motion carried.

B) Facility Evaluation Proposal - G. Schuster explained the Capital Improvement Committee recommended the Facility Evaluation. J. Clapper noted he contacted three companies and D'Huy Engineering, Inc. (DEI) was the lowest. He stated the proposal is for the Maintenance, Police and Township buildings are the base bid with additional buildings - Park & Fire Company.

J. Lastowski will contact the Fire Station concerning the additional buildings. J. Clapper will provide the board with additional information on the deliverables.

J. Lastowski made a motion, seconded by J. Coover, to accept the D'Huy Engineering, Inc. (DEI) proposal for preparing a long-term capital improvement plan for the Municipal Complex at a cost of \$13,200 and \$200.00 voting (Mt. View) office; and amend to include the Pocono Township Fire Company at a price of the \$750.00 - Fire Station and \$750.00 - Pole barn. Roll call vote: J. Coover, yes; H. Werkheiser, yes; B. DeYoung, yes; and J. Lastowski, yes. Motion carried.

Meeting Room Phones and PA System - G. Schuster explained he contacted Dan Leddy of Leddy Communications for a new phone and PA System and he recommended replacing the amp and microphones for the meeting room. J. Coover requested additional quotes. No action taken.

Solicitor Leo DeVito -

- 1) ZHB - Pocono Logistics - L. DeVito noted Rick Fisher, Twp. Zoning Officer has cited Pocono Logistics and he requested board approval to represent the Township at the hearing. J. Lastowski made a motion, seconded by B. DeYoung, to authorize the Solicitor to represent the Township at the Pocono Logistics Zoning Hearing Board. H. Werkheiser questioned why the Township would need representation. Discussion followed. Roll call vote: J. Coover, yes; H. Werkheiser, yes; B. DeYoung, yes; and J. Lastowski, yes. Motion carried.

2) PJJWA Acquisition - L. DeVito explained the history of PJJWA and the current Acquisition of the water company by BCRA. PJJWA would be dissolved and the monies disburse between the Townships. Ken Brown, BCRA General Manager, gave a status report on the acquisition. J. Coover made a motion, seconded by J. Lastowski, to take the necessary steps to finalize the agreement and authorize the Solicitor to draft the Ordinance and advertise the same. Roll call vote: J. Coover, yes; H. Werkheiser, yes; B. DeYoung, yes; and J. Lastowski, yes. Motion carried.

Treasurer Gina Zuvich gave her report for February and noted EIT is up this year and Real Estate Taxes are just starting to come in in March. She explained the transfer to Sewer Construction for the hump repair. J. Clapper noted the repair is on schedule.

**PRESENTATIONS:**

Vacancy Board - No action taken.

**ORDINANCE**

BCRA Water Service Area to Monroe County Technical Institute (MCTI) - J. Coover made a motion, seconded by J. Lastowski to authorize the Solicitor to advertise the BCRA Water Service Area to MCTI. Roll call vote: J. Coover, yes; H. Werkheiser, yes; B. DeYoung, yes; and J. Lastowski, yes. Motion carried.

**RESOLUTIONS:**

Resolution 2016-15 - approving the Civil Service Commission Rules - J. Lastowski made a motion, seconded by J. Coover, to adopt Resolution 2016-15 amending the Civil Service Commission Rules. Roll call vote: J. Coover, yes; H. Werkheiser, yes; B. DeYoung, yes; and J. Lastowski, yes. Motion carried.

Declaration of vacancy for two (2) corporal vacancies in the Pocono Township Police Force and authorizing the position to be filled. - Discussion followed concerning the recommendation of the DCED report. No action taken.

Resolution 2016-16 - MOU with NCC for recreation services - Discussion followed on responsibility of venue costs. J. Coover made a motion, seconded by B. DeYoung, to adopt Resolution 2016-16 MOU with NCC for recreation services. Roll call vote: J. Coover, yes; H. Werkheiser, yes; B. DeYoung, yes; and J. Lastowski, yes. Motion carried.

Resolution 2016-17 LSA Grant Stadden Road Audit - J. Coover made a motion, seconded by B. DeYoung, to adopt Resolution 2016-17 appointing Julian Kirk as Auditor for the LSA Stadden Road Grant for a sum not to exceed \$1,800. Roll call vote: J. Coover, yes; H. Werkheiser, yes; B. DeYoung, yes; and J. Lastowski, yes. Motion carried.

**RESOLUTIONS CONT:**

Resolution 2016-18 - Bank Signatories - J. Lastowski made a motion, seconded by J. Coover, to adopt Resolution 2016-18 changing the Bank Signatories. Roll call vote: J. Coover, yes; H. Werkheiser, yes; B. DeYoung, yes; and J. Lastowski, yes. Motion carried.

**PUBLIC COMMENT:**

Brad Wise, Twp. resident, questioned the sewer committee and evaluation of Pump Station #1 and #2. Discussion followed. The Board concurred to hold a special workshop to discussion the sewer system. J. Clapper will contact T&M for their availability.

**ADJOURNMENT INTO EXECUTIVE SESSION**

J. Lastowski a motion, seconded by J. Coover, to adjourn the meeting at 8:40 p.m. into executive session to discuss a Police employment issue, until 04/4/2016 at the Pocono Township Municipal Building, Tannersville, PA. Roll call vote: J. Coover, yes; H. Werkheiser, yes; B. DeYoung, yes; and J. Lastowski, yes. Motion carried.

**POCONO TOWNSHIP BOARD OF COMMISSIONERS  
SPECIAL MEETING**

**MARCH 30<sup>th</sup>, 2016 7:00 P.M.**

The Special meeting of the Pocono Township Commissioners was held on 03/30/2016 at the Pocono Township Municipal Building, Tannersville, PA, and was opened by Vice President Harold Werkheiser at 6:00 p.m., followed by the Pledge of Allegiance.

**ROLL CALL:** Tom Felver, absent; Harold Werkheiser, present; Jerry Lastowski, present; Robert DeYoung, present; and Judi Coover, present.

Pamela Finkbeiner, Township Secretary, was present.

**PUBLIC COMMENT: None**

**AMENDMENTS TO BOARD OF COMMISSIONERS BYLAWS:**

J. Coover reviewed the changes to the Bylaws.

Section 4 - B - Public Workshops to remain as proposed.

Section 4,C - To remain as proposed.

Section 4,D - Limit to two Commissioners by speakerphone. Discussion followed.

Annabella Lastowski, Joseph Shupp, and Bob Demarest, Twp. residents, questioned the legality of voting by phone.

The Board concurred to seek a legal opinion for limiting speakerphone participation and quorum requirements.

Section 4,E - Remove "Qualified"

Section 5,A.6 - Amendments to Agenda - J. Coover questioned additions to the agenda after the agenda is set. Discussion followed on emergency agenda items and who will decide the hardship. The Board concurred to move Amendments to the Agenda to under the Manager's report.

Section 5,A.6 & 13 - Public Comment - Discussion on the need of Public Comments.

Section 5,A.9 - Reports - Discussion concerning lists of individual reports.

Annabella Lastowski, Twp. resident, noted persons reporting can vary per meeting.

Section 5, B - Changed to 4:30 Wednesday instead of end of business day.

Section 5,C - Discussion followed to whom will be responsible for adding items to the agenda. Changed to "The Board will not add agenda items for any meeting unless it is an undue hardship, as determined by the discretion of the Board."

Section 6,A - Changed from five (5) minutes to three (3) minutes for public comments.

**BYLAWS CONT:**

Section 7,B - Moved to Section 4 - "Sewer Meeting will be the 1<sup>st</sup> and 3<sup>rd</sup> Monday of every month at 6:00 p.m., excepting holidays (When the meeting shall be moved to Tuesday)" Discussion followed for full board attendance at Sewer Meetings. The sewer meeting will be advertised once the bylaws are approved.

Section 7,C - Change to B - Finance Committee. Appointment of the second committee member at the 04/04/2016 meeting.

J. Coover will make the changes and provide copies of the revised bylaws to the Board for the 04/04/2016 meeting.

**PUBLIC COMMENT:**

Bob Demarest, Planning Commission, requested to attend the PennDOT meeting, scheduled on 04/14/2016. The Board concurred to have the Twp. Manager to contact PennDOT to request the Planning Commission be allowed to attend.

**VACANCY BOARD:**

H. Werkheiser made a motion to appoint the Vacancy Board - J. Lastowski objected and requested the appointment wait to the 04/04/2016 mtg. Discussion followed. Motion failed for lack of second.

**PARLIAMENTARIAN:**

Discussion followed on the appointment of a Parliamentarian for the Board of Commissioners.

Annabella Lastowski questioned the version of the bylaws the Board will use.

J. Coover made a motion, seconded by B. DeYoung, to appoint J. Lastowski as the BOC Parliamentarian. Roll call vote: J. Coover, yes; H. Werkheiser, yes; J. Lastowski, yes; and B. DeYoung, yes. Motion carried.

**VACANCY BOARD:**

H. Werkheiser made a motion, seconded by J. Coover, to appoint Joe Shupp to the Vacancy Board. Roll call vote: J. Coover, yes; H. Werkheiser, yes; J. Lastowski, no; and B. DeYoung, yes. Motion carried.

**SPECIAL MEETING - SEWER REPAIRS**

J. Lastowski made a motion, seconded by B. DeYoung, to schedule a special meeting on 04/05/2016 to have a presentation by Sami Sarrouh, PE, Sr. Technical Engineer, T&M Associates, for the proposed repair of the sewer line. Roll call vote: J. Coover, no; H. Werkheiser, yes; J. Lastowski, yes; and B. DeYoung, no. Motion failed to pass.

Discussion followed as to the type of meeting. J. Coover requested a workshop instead of a special meeting. Discussion followed. The Board requested Ken Brown and BRCA's engineer be invited.

J. Coover made a motion, seconded by H. Werkheiser, to authorize the Twp. Secretary to advertise a workshop meeting, 04/5/2016 at 5:00 p.m., to have a presentation by Sami Sarrouh, PE, Sr. Technical Engineer, T&M Associates, for the proposed repair of the sewer line. Roll call vote: J. Coover, yes; H. Werkheiser, yes; J. Lastowski, yes; and B. DeYoung, yes. Motion carried.

Ramona Shupp, Twp. resident, questioned the sewer line.

Joe Shupp, Twp. resident, question concerning the sewer line.

Bob Demarest, Twp. resident, questioned if other engineering firms were contacted.

Annabella Lastowski, Twp. resident, suggested contacting everyone involved along the sewer line be invited to the meeting.

Mike Tripus, Twp. resident, questions concerning the change order for a contractor who did not do the original work.

J. Lastowski made a motion, seconded by B. DeYoung, to adjourn the meeting at 7:50 p.m. Roll call vote: J. Coover, yes; H. Werkheiser, yes; J. Lastowski, yes; and B. DeYoung, yes. Motion carried.

**Pocono Township Check Listing**

**April 4, 2016**

<b>General Fund</b>	<b>Date</b>	<b>Check</b>	<b>Vendor</b>	<b>Memo</b>	<b>Amount</b>
	03/31/2016	54309	Steele's Hardware	Park - Supplies	40.34
	03/31/2016	54310	Amerihealth Casualty Services	Workman's Comp - April	9,894.49
	03/31/2016	54311	Best Auto Service Center	Police - Vehicle Repair	1,454.34
	03/31/2016	54312	Beyer-Barber Company	Admin Fee - Non-Uniform	1,200.00
	03/31/2016	54313	Brodhead Creek Regional Authority	Hydrant Fee	260.00
	03/31/2016	54314	Broughal & DeVito, L.L.P.	Recording Fee - Lakeview Lane	40.00
	03/31/2016	54315	Clapper, Jeffry	Mileage Reimbursement (1 month)	37.23
	03/31/2016	54316	Craig Colabaugh, Inc.	Repair - Pistol	40.00
	03/31/2016	54317	Cyphers Truck Parts	Truck Repairs	185.57
	03/31/2016	54318	D.G. Nicholas Co.	Supplies - Public Works	341.05
	03/31/2016	54319	Dynamite Car Wash	Police Car Washes	65.00
	03/31/2016	54320	Foley, Dave	Shop Tool - Matco	214.00
	03/31/2016	54321	Howarth, Carl	Coffee	38.00
	03/31/2016	54322	J. P. Mascaro & Sons	Garbage Twp	238.14
	03/31/2016	54323	JNK Hydrotest & Extinguisher Supply Co.	Extinguisher testing	127.70
	03/31/2016	54324	Medico Industries, Inc.	Sweeper	229.00
	03/31/2016	54325	Otto, Carol	Cleaning	550.00
	03/31/2016	54326	PAPCO, Inc.	Gasoline	889.36
	03/31/2016	54327	PENTELEDATA	Police - Internet	124.85
	03/31/2016	54328	PNC Equipment Finance, LLC	2011 Loader - April	1,014.30
	03/31/2016	54329	Signal Service, Inc.	Signal Video Camera	3,859.00
	03/31/2016	54330	Sirchie Fingerprint Laboratories	Forencis Supplies	79.86
	03/31/2016	54331	Staples Credit Plan	Office Supplies - Police	78.53
	03/31/2016	54332	Staples, Chris	Falko - Food	46.63
	03/31/2016	54333	Steele's Hardware	Supplies - Public Works	41.72
	03/31/2016	54334	Stiff Oil Company	Diesel	1,565.71
	03/31/2016	54335	T&M Associates	Engineering - Revised Inv.	2,194.10
	03/31/2016	54336	UNIFIRST Corporation	Carpets/Uniforms	156.91
	03/31/2016	54337	Verizon Wireless	Phones - Public Works/ZO	243.24
	03/31/2016	54338	Cramer's Home Building Center	Supplies	57.74
	03/31/2016	54339	Eureka Stone Quarry, Inc.	Stone	2,939.94
	03/31/2016	54340	Hanson Aggregates Pennsylvania LLC	Stone	1,916.58
	03/31/2016	54341	HUNTER KEYSTONE PETERBILT	Truck Repairs	578.75
	03/31/2016	54342	Pocono 4 Wheel Drive Center	Pro Jack	50.00
	03/31/2016	54343	SiteOne Landscape Supply	Herbicide - Park	357.85
	03/31/2016	54344	Stiff Oil Company	Heating Oil	810.46
	03/31/2016	54345	U.S. Municipal	Parts - Truck	1,628.85
	03/31/2016	54346	UNIFIRST Corporation	Carpets/Uniforms	334.12
	03/31/2016	54347	Nationwide - 457	Voluntary Supplemental Pension	4,960.76
	03/31/2016	54348	Met Life	March Non-Uniform Pension	5,270.68
	03/31/2016	54349	US Bank	March Police pension	4,756.77
	03/31/2016	54350	Aflac	Voluntary Supplemental Insurance	396.08
	03/31/2016	54351	Teamster Local 773	March & April Police Union dues	2,382.00
	03/31/2016	54352	Teamster Local 773	March & April Non-Uniform Union dues	1,088.00
	03/31/2016	54353	Lincoln Life	Voluntary Supplemental Pension	300.00
	03/17/2016	54260	Broughal & DeVito, L.L.P.	Legal	9,450.95
	03/17/2016	54295	T&M Associates	Engineering	2,258.23
				<b>TOTAL General Fund</b>	<b><u>\$64,786.83</u></b>

**Sewer Operating Fund**

	03/31/2016	1543	Met Ed	Electric for pump station	472.45
	03/31/2016	1544	DG Nicholas	Glycol filter	17.34
	03/31/2016	1545	Blue Ridge Communications	Cable for pump stations	113.70
	03/31/2016	1546	JP Mascaro	Garbage pick up for pump stations	56.50
	03/31/2016	1547	Pocono Township	To pay GF for UCC Fees from petty cast	4.00
	03/17/2016	1534	Broughal & DeVito	Legal	150.00
				<b>TOTAL Sewer Operating Fund</b>	<b><u>\$813.99</u></b>

**Pocono Township Check Listing**  
**April 4, 2016**

**Sewer  
Construction**

3/31/2016	157	Universal Technical Resource Services	Engineering closeout Contract 3	47.50
3/18/2016	155	T&M Associates	Engineering for pump station issues	<u>43,326.28</u>
<b>TOTAL Sewer Construction Fund</b>				<b><u><u>\$43,373.78</u></u></b>

**Capital Reserve  
Fund**

3/31/2016	141	F&L Doors	50% Deposit for steel doors	6,350.00
<b>TOTAL Capital Reserve Fund</b>				<b><u><u>\$6,350.00</u></u></b>

**TOTAL General Fund                    \$64,786.83**

**TOTAL Sewer Construction Fund    \$43,373.78**  
**TOTAL ESSA Transfer                \$108,160.61**

**TOTAL Sewer  
Operating Fund    Wayne Bank    \$813.99**

**TOTAL Capital  
Reserve Fund                            \$6,350.00**

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Authorized by:

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# MEMORANDUM

**To:** Board of Commissioners

**cc:**

**From:** Gregg Schuster, Township Manager

**Date:** 4/1/16

**Re:** Township Manager Report (3/18/16 – 3/31/16)

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## Personnel

1. One employee is currently out on workers comp.
2. Zoning Officer Rick Fisher resigned on 3/29/16.
3. A police officer was terminated from employment.

## Meetings

1. On 3/24/16, I attended a meeting with the manager of Penn Estates to discuss the impact of the Hallet Road bridge closure.
2. On 3/31/16, I attended a brief court session to continue an enforcement matter.
3. On 3/31/16, I attended a meeting with Benecon, Highmark, and union representatives to discuss issues with employee benefits resulting from the Highmark acquisition of BC NEPA.

## Administration

1. The Civil Service Commission continues to review the SOP manual and will present a recommended revision.
2. The updated Hazard Mitigation Plan has been sent out for public comment.
3. The draft sign ordinance and SALDO was sent to the MCPC.

## Finance

1. Work on audits is ongoing.

## Current Projects

### 1. Filing and Workflow System

A 2016 budget item is the hiring of staff to assist in the filing efforts. This will be on a future agenda.

### 2. Codification

General Code has delivered a new draft for review. It contains several questions that need to be answered before a final draft is prepared.

### 3. Road Management Plan

Jeff Clapper is beginning work to detail all roads and a plan for their maintenance.

### 4. Sewer Construction Contract Closeout

The Leeward contract is closed. The only remaining open contract is with PACT.

### 5. Sewer System Maintenance Plan

As the system stabilizes, Jeff Clapper is developing a long term plan for the maintenance of the collection system.

### 6. Sewer “Hump” Repair

The repair of the “hump” is proceeding. There are some issues that have recently been discovered that may impact the project. Further details will be provided.

### 7. Sewer Connections

Mandatory connection notices have been sent out.

### 8. Pump Replacement

We have concerns that some of the pumps in our pump stations are not the appropriate pumps. The Board will be briefed on this at a future meeting to give direction.

### 9. Alger Avenue Property

Plans have been developed for the Alger Avenue property. This is on your agenda for review.

10. Police IT

The police department has some unique and specific IT needs regarding their communications and video cameras. A plan is being developed to bring to the Board for comment. This is on your agenda for review.

11. Sewer Redesign

The Board will need to be briefed on the results of the project to examine certain pump and valve stations in order to give direction. This will occur at the 4/5/16 meeting.

12. Heritage Center

The Bicentennial Celebration Committee is working towards the plans and fundraising for the Heritage Center. A 501c3 is in the process of being formed. A presentation is on your agenda.

13. Township Buildings Sewer Connection

We have begun the process to connect the municipal buildings to the sewer system. To minimize impact, the actual connection may be made on a Saturday.

14. Municipal Facility Evaluation

We are proceeding with the evaluation with D'Huy.

15. Municipal Building Security

Options for security at the municipal building will be investigated as time allows. Funding has been included in the 2016 proposed budget.

E. M. KUTZ, INC.  
2456 Morgantown Road  
Reading, PA 19607  
610-775-3528/610-775-4848-Fax

Date: March 23, 2016

PROPOSAL-BUDGETARY

Jeff Clapper  
Pocono Township

Sales Agent: Matt Lynott/Dale Smith

**DESCRIPTION**

Furnish and install the following:

Body

**Galion 450U - 10.5' Steel dump body**

10 ½" x 7' x 30" sides x 40" tailgate  
8 gauge A1011 45K steel sides and front  
1/2 cab shield with built-in wind deflector to tarp  
1/4" AR450 floor Air release tailgate  
Vertical side posts with grip punch walkway full length down each side  
Crossmemberless understructure  
Two-way swing gate - Barn Door Style (3) oval light holes in posts  
Bustin style slide out ladder  
U850LMDA low mount hoist

Hydraulics

CS24 PTO/P20 gear pump  
Air operated control valve  
Aluminum console in cab with three (3) air controllers  
Kutz spreader valve with cab controller  
25 gallon aluminum hydraulic tank with sight gauge  
Hydraulic filter assembly with temperature gauge

Snow Plow

Gledhill Model 11HSBPR2 snow plow  
11' x 42" high moldboard  
4" X 20" D/A angle cylinders  
Heavy duty mushroom shoes  
Level lift  
Blade guides  
3/4 X 6" X 11' carbide cutting edge on plow

(Continued)

Description: (continued)

Plow Hitch

Gledhill Model FFLP front frame hitch  
4 x 10" D/A lift cylinder  
ACP connection for plow and hitch

Spreader

Swenson Model SA stainless steel spreader  
Gear box driven auger  
Poly spinner  
Dump body filler plates

Lights

Snow plow lights mounted on fenders  
Four (4) oval LED amber lights mounted in cab shield  
One (1) oval LED amber light mounted in each rear post  
LED stop/tail/back-up lights in rear posts  
LED spreader work light

Miscellaneous

24" aluminum tool box  
Aero 575 automatic tarp system with double arms  
Pintle plate with BP200 pintle  
Body exterior painted one color

Price Per Unit - \$53,652.00

Options:

1. Delete air operated control valve, gear pump, Kutz spreader valve and air handles in cab  
Supply Cirus hydraulic system with PTO piston pump, black tip controller with body and plow joysticks, EZ spread spreader control, 35 gallon hydraulic tank/valve enclosure, mild steel Add- \$7,344.00  
Approved: \_\_\_\_\_

(Continued)

Options: (continued)

- 1a. Cirrus valve/tank enclosure up graded to stainless steel in lieu of mild steel Add - \$1,425.00

Chassis to arrive with front frame extension, Allison series 3000 transmission with PTO access, Plow light and factory upfitter switches 84" cab to axle (depending on chassis selected)

Pricing reflects a cash or check discount. Credit card purchases will incur a 4% surcharge to be added to order total.

All prices quoted do not include applicable taxes unless otherwise noted.  
Customer Approval By:

Name	Title	Date
Purchase Order Number: _____		

F.O.B. E. M. Kutz, Inc.

Terms: Net due upon completion.

Delivery: Please allow 45 to 90 days to complete unit after equipment and chassis arrival.

Paint - Due to the variety of colors currently being provided by chassis manufacturers, E. M. Kutz, Inc. can no longer guarantee a 100% match.

All claims are contingent upon strikes, accidents and other caused beyond our control, including similar contingencies to our shippers or vendors and relative to the subject matter hereof. Clerical errors are subject to correction.

Note: All chassis to arrive with sufficient material to mount and install fuel tank or tank filler necks. Any additional material or labor needed for this there will be an upcharge. Also any rerouting of exhaust needed to mount P.T.O. or pumps there will be an upcharge.

Price Valid for 30 Days From Above Date

**POCONO TOWNSHIP  
ENGINEER'S REPORT  
April 2016**

**SUBDIVISION AND LAND DEVELOPMENT APPLICATIONS**

1. **Kopelson Lot 3 Land Development Application** – This project consists of a restaurant pad at Routes 715 and 611. Our most recent review letter is dated April 23, 2015. The applicant is seeking a number of deferrals. The Planning Commission tabled the plans for consideration at a future meeting. **A time extension has been granted to June 30, 2016.**
2. **Spa Castle Grand Pocono Resort** – At the December 17<sup>th</sup> special meeting of the Commissioners, the Act 537 Planning Module for Spa Castle was deemed incomplete. By correspondence dated December 16, 2015, the applicant withdrew their conditional use application. **Note, however, the Land Development application remains active with a June 2016 extension date.**
3. **Sanofi Pasteur Inc. – B-79 (Flu Bldg) and B-80 (CUP Bldg)** – Plans were accepted at the 9/14/15 P.C. meeting. The proposals are to build two new buildings in areas currently used for parking lots and modular buildings. The modular buildings are to be relocated. The Flu Building is a new building and is 150,000 s.f. in size. The Planning Commission recently conditionally approved the application. This application will be before the Board of Commissioners for action at the April 4<sup>th</sup> meeting. **The deadline for action is April 4<sup>th</sup> unless an extension is granted.**
4. **Schlier Motorcycle Dealership** – Jim Schlier submitted a preliminary plan for a 24,000 S.F. Motorcycle Dealership at the corner of Hill Motor Lodge Road and Pa Route 715. T&M issued review comments on March 2016. This application is in the process of consideration by the Planning Commission.
5. **Pocono Medical Center** – We reviewed the sketch plan and conveyed comments to the Township by correspondence dated January 20, 2016. We reviewed trip generation and conveyed comments to the Township by correspondence dated February 22, 2016. The applicant recently submitted a revised sketch plan showing different building location, sizes and configurations. The applicant agreed this application would be considered a regional impact development. The applicant would need to proceed with a conditional use application.
6. **RKA Construction Land Development** – The applicant is proposing to convert an existing residential house into an office in the Commercial Zoning District

including the addition of six (6) parking spaces. The Planning Commission conditionally approved this application last month. This application will be before the Board this month (April) for review and consideration. **The deadline for action is April 18<sup>th</sup> unless an extension is granted.**

7. **Sanofi Lot Line Adjustment Plan** - Sanofi is proposing to merge portions of two existing residentially zoned parcels into the industrially zoned parent tract. The residual residential zoned parcels 3 and 4 are to be protected from development with the addition of a covenant. The Planning Commission conditionally approved this application. This application will be before the Board this month (April) for review and consideration. **The deadline for action is May 2<sup>nd</sup> unless an extension is granted.**

### **LAND DEVELOPMENT AND SUBDIVISION INSPECTIONS**

8. **Northridge Development** – T&M continues to provide periodic inspection during periods of construction. Currently work has been minimal. It is anticipated work will resume in the near future.
9. **Sanofi** – Two modular buildings (#17 &18) previously approved have been eliminated with the new Flu Bldg. proposal. Modular Building #19, Sanofi has decided not to construct. Modular bldg. #10 has been constructed. Revised plans reflecting these changes are to be recorded.
10. **Swiftwater Apartments** –Work on the site is minimal. It is anticipated work will resume in the near future. T&M will provide periodic inspections for the stormwater and sanitary infrastructure.
11. **Camelback Hotel and Waterpark** – There are infiltration issues at Basin 3. We have requested further information regarding infiltration from the contractor, owner and geotechnical consultant.
12. **Camelback Parking Lot and Helipad** – This project consists of replace an existing Helipad and to install 187 parking spaces. Periodic site inspections continue for cut/fill operations, storm sewer installation, infiltration bed soils evaluations and Cultec pipe system installation. We continue to have discussions with the owner, contractor and the MCCD regarding the construction sequence and erosion control concerns. T&M continues to provide periodic inspections for the stormwater components.

13. **Wendy's** – During February we inspected the installation of the stormwater infiltration system. Curbing and parking lot base are in. Final paving is pending. Final inspections are pending.
14. **Castle Hill private road inspections** – Authorization is pending from the HOA to proceed with the inspection and report regarding the condition of the cartway, shoulders, and drainage features proposed to be dedicated to and accepted by the Township.

## **SANITARY FACILITIES AND CONNECTION OVERSIGHT PROGRAMS**

15. **Conveyance System Repairs**  
T&M has submitted 80% complete plans to the contractor for review. T & M will be finalizing the plans and submitting them to the contractor by March 11, 2016 for review and price determination.
16. **Hump Fix**  
T&M continues site inspections and meetings with BCRA, PA DEP on behalf of PennVest and PennDOT as required in the contract documents and permits. The contractor completed installation of the sanitary sewer main in the casing pipe on March 3, 2016 and would like to proceed with the relocation of the water main pending Township approval of a project Change Order.
17. **Sewer Inspections**  
The Board authorized BIU to conduct the application reviews and follow up inspections. Please refer to BIU for a status report.
18. **Contract Close-out**  
Contracts 3 and 11 are the only remaining contracts that are still open. T&M received final payment application from the contractor, Leeward Construction, which is required for project closeout in February. Review and approval of final payment application completed by T&M on March 3, 2016. T & M recommends final payment in the amount of \$45,086.66. Once the Township pays this final payment application, they can proceed with seeking reimbursement from PennVest.

## **TOWNSHIP ROAD AND BRIDGE PROJECTS**

19. **Swiftwater Creek Modifications and Wilkie Road Stream Improvements:**  
This work will be completed when weather conditions allow in 2016.

## **ORDINANCE(S) UPDATE PROGRAM**

20. **Signage Ordinance** The Board authorized the manager to forward the draft sign ordinance to the county for input.
21. **Subdivision and Land Development Ordinance** The Board authorized the manager to forward the draft document to the county for input.
22. **Zoning Ordinance** – Work on the revised zoning ordinance has temporary ceased pending input by the Board of Commissioners.

## **PENNDOT PROJECTS**

23. **Route 611 Improvements** – As it stands the project is scheduled for a June 23, 2016 let date (the day they open the bids). The delay in the project is due to Act 162 which was enacted by the PA Legislature in Dec. 2014. Part of the Act requires that PennDOT replace riparian buffers that are impacted by the project. Since PennDOT was not previously planning for this, it has delayed the project.
24. **Route 715 Realignment** - T&M met with BCRA to discuss water line installation along Route 715 that will be impacted by the realignment. At present final plans have not been submitted for this project.

## **Upcoming Grant Program Windows**

25. **DCNR C2P2 – Funding for parks, recreation and open space projects**

**April 13, 2016**

The Department of Conservation and Resources [Community Conservation Partnerships Program](#), popularly known as “C2P2” local recreation and conservation projects opens January 20, 2016, and closes April 13, 2016. Grants are funded through a variety of sources, including the Keystone Recreation, Park and Conservation Fund; Environmental Stewardship Fund; PA Recreational Trails Program; and the Land and Water Conservation Fund. C2P2 funds may be used for a variety of park, recreation and conservation projects including open space

and parkland acquisition; park development; trails; open space and park master plans; as well as, projects recommended in Rivers Conservation Plans.

**26. DCED CFA Greenways, Trails and Recreation Program (GTRP) – Funding for parks, recreation and open space projects**

**June 30, 2016**

Act 13 of 2012 establishes the Marcellus Legacy Fund and allocates funds to the Commonwealth Financing Authority (the “Authority”) for planning, acquisition, development, rehabilitation and repair of greenways, recreational trails, open space, parks and beautification projects using the Greenways, Trails and Recreation Program (GTRP). The application deadline for the program is June 30, 2016 for consideration at the Sept. 2016 CFA board meeting. The program will fund projects which involve development, rehabilitation and improvements to public parks, recreation areas, greenways, trails and river conservation. Grants shall not exceed \$250,000 for any project. A 15% match of the total project cost is required.

**27. DCED CFA Watershed Restoration and Protection Program (WRPP) – Funding for watershed restoration and non-point source pollution control**

**June 30, 2016**

Act 13 of 2012 establishes the Marcellus Legacy Fund and allocates funds to the Commonwealth Financing Authority for watershed restoration and protection projects. The overall goal of the Watershed Restoration and Protection Program (WRPP) is to restore, and maintain restored stream reaches impaired by the uncontrolled discharge of nonpoint source polluted runoff, and ultimately to remove these streams from the Department of Environmental Protection’s Impaired Waters list. The application deadline for the program is June 30, 2016 for consideration at the Sept. 2016 CFA board meeting. Funding can be used for projects which involve the construction, improvement, expansion, repair, maintenance or rehabilitation of new or existing watershed protection Best Management Practices (BMPs). There is a maximum of \$300,000 for any project. A 15% match of the total project cost is required.

## **Pending Grant Applications Submitted at behest of Township**

**28. PENNDOT Green Light-Go – Funding for traffic pre-emption emitters at all intersections along the Route 611 Corridor**

**\$63,787.50 requested (\$63,787.50 match pledged); submitted 02MAR15**

Department decisions on funding still pending. PENNDOT staff unable to provide information on a possible award date.

**29. Monroe County Local Share Account Gaming Funds – Funding for Police Department Camera Systems**

**\$79,338 requested (\$15,000 match pledged); submitted 30SEP15**

Award decisions are pending and will be considered at the next meeting of the Pennsylvania Commonwealth Financing Authority.



YOUR GOALS. OUR MISSION.

March 16, 2016

Mr. Gregg Schuster  
Pocono Township Manager  
112 Township Drive  
Tannersville, PA 18372

SUBJECT: PAYMENT APPLICATION NO. 3  
ROUTE 611 SANITARY SEWER REPLACEMENT PROJECT  
OUR PROJECT NUMBER: POCO00040

Dear Mr. Schuster:

T&M received Application for Payment request #3 on March 15, 2016 for the above referenced sanitary sewer project submitted by Marona Construction Company; dated March 7, 2016. This request is for work completed from February 6, 2016 to March 4, 2016. This Contract is for the construction of the sanitary sewer main installation (primarily via micro-tunneling) along SR611 between the Pocono Farmstand and the Learn Road/SR611 intersection.

T&M has verified that the work completed in this Application Period for the installation of 90 lineal feet of 24-inch PVC sanitary sewer main pipe that has been installed in the 4-foot inside diameter, concrete casing pipe is in accordance with the requirements of the Contract Documents (Plans and Specifications) for work visible during construction observations. In summary, the *Original Contract Sum* for this project is \$2,625,000; the total amount of the project *Completed and Stored to Date* (Less Retainage) is \$2,109,000 and the total amount of *Previous Payments* is \$1,827,900. Based on this information T&M recommends a *Current Payment Due* to Marona Construction in the amount of **\$281,100** (\$2,109,000- \$1,827,900) and a *Total Project Retainage* of \$111,000.00 at this time. This leaves a *Balance to Finish (including Retainage)* of \$516,000.00 (\$405,000 + \$111,000).

If you have any questions about this correspondence or the accompanying documents, please contact me at (610) 301-6736.

Very truly yours,

Mark Ambrose, P.E.  
Principal Engineer  
T&M Associates

Cc: Stephen Saloma, P.E., Marona Construction

**PARTIAL/FINAL PAYMENT**

**TO OWNER:**

POCONO TOWNSHIP  
112 TOWNSHIP DRIVE  
TANNERSVILLE, PA 18372  
ATTN: GREG SCHUSTER

**PROJECT:**  
ROUTE 611 SANITARY SEWER REPLACEMENT PROJECT

**CONTRACT NO. ONE GENERAL CONSTRUCTION**

APPLICATION/INVOICE NO: 003  
PERIOD: FROM 2/6/2016 TO 3/4/2016  
APPLICATION DATE: 3/7/2016  
MARONA JOB# 166

**FROM CONTRACTOR:**

Marona Construction Company  
PO Box 283  
3191 Trewigtown Road  
Colmar, PA 18915  
Project Manager: Steve Saloma, P.E.

**ENGINEER:**  
T&M ASSOCIATES, INC.  
74 WEST BROAD STREET  
BETHLEHEM, PA 18018  
ATTN: MARK AMBROSE, P.E.

**CONTRACTOR'S APPLICATION FOR PAYMENT**

- 1. ORIGINAL CONTRACT SUM 2,625,000.00
- 2. NET CHANGE BY CHANGE ORDERS 0.00
- 3. CONTRACT SUM TO DATE 2,625,000.00
- 4. TOTAL COMPLETED & STORED TO DATE (Column F) 2,220,000.00
- 5. RETAINAGE:
  - a. 5 % of Completed Work 111,000.00 (Column F)
  - b. 0 % of Stored Material 0
  - c. Total 111,000.00
- 6. TOTAL EARNED LESS RETAINAGE 2,109,000.00  
(Line 4 Less Line 5c Total)
- 7. LESS PREVIOUS PAYMENT (Paid to-date) 1,827,900.00
- 8. CURRENT PAYMENT DUE (Line 6 - Line 7) 281,100.00
- 9. BALANCE TO FINISH (Line 3 - Line 4) 405,000.00

CHANGE ORDER SUMMARY	NUMBER	AMOUNT
Total changes approved in previous months by Owner		
Total approved this Month		
TOTALS (Line 2)		

**CONTRACTORS CERTIFICATION**

The undersigned Contractor certifies that (1) all previous progress payments received from Owner(s) on account of work done under the Contract have been applied to Discharge in full all obligations of Contractor incurred in connection with Work covered by prior Applications for Payment number 1 through 2 inclusive; (2) title to all materials and equipment incorporated in said Work or otherwise listed on or covered by this Application for Payment will pass to the Owner at the time of payment, free and clear of all liens, claims, security interests and encumbrances (except such as covered by Bond acceptable to Owner indemnifying Owner against such lien, claim, security interest, or encumbrances); and (3) all Work covered by the Application for Payment is in accordance with the Contract Documents and is not defective, as that term is defined in the Contract Documents.

Date: 3/15  
By:   
Stephen J. Saloma, P.E., Vice President

Approved Payment Amount \$ 281,100.00  
Dated: March 16 2016  
For: T&M Associates  
By:   
Mark Ambrose



# DAILY CONSTRUCTION REPORT

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Project Name:	<u>Pocono Township Route 611 Sewer Improvements</u>	Project No.	<u>POCO00040</u>
Contractor:	<u>MARONA Construction</u>	Contractor Super:	<u>Mike Bain/Mike Hall</u>
Date:	<u>February 8, 2016</u>	Temp / Weather:	<u>Cloudy, 34 degrees</u>
Work Location:	<u>Intersection of Learn Road &amp; Route 611, Pocono Township, Monroe Co., PA</u>		

## **EQUIPMENT:**

Cruz Construction is demobilizing, no construction equipment used with the exception of excavator to load equipment onto flatbed trailers to haul from site.

## **REMARKS:**

- Reviewed E&S controls in the area of Learn Road/611 to address runoff from washing down equipment. Contractor addressed areas of concern with the installation of silk socks.
- Review traffic control pattern with foreman, contractor corrected knocked down signs and traffic control barrels.
- No construction expected for 2 -3 weeks until Cruz removes all drilling related equipment.

Name: Mark Ambrose, P.E.

Supervisor: Russell Benner, P.E.



# DAILY CONSTRUCTION REPORT

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Project Name:	<u>Pocono Township Route 611 Sewer Improvements</u>	Project No.	<u>POCO00040</u>
Contractor:	<u>MARONA Construction</u>	Contractor Super:	<u>Mike Bain/Mike Hall</u>
Date:	<u>February 17, 2016</u>	Temp / Weather:	<u>Cloudy, 29 degrees</u>
Work Location:	<u>Intersection of Learn Road &amp; Route 611, Pocono Township, Monroe Co., PA</u>		

## **EQUIPMENT:**

Marona preparing to install sewer main. No construction equipment used.

## **REMARKS:**

- Contractor preparing to install sewer pipe support track in the bottom of the concrete casing pipe. Track consists of 2 x 4 PT lumber anchored to concrete.
- Unpacking pipe supports, pipe joint restraints and miscellaneous fittings.
- Discussed receiving pit dewatering concerns with contractor with respect to maintenance and replacement of filter bags. Contractor will continue to address concerns when construction resumes in this area again.
- Discussed construction schedule with Kevin O'Donnell of PADOT.

Name: Mark Ambrose, P.E.

Supervisor: Russell Benner, P.E.



# DAILY CONSTRUCTION REPORT

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Project Name:	<u>Pocono Township Route 611 Sewer Improvements</u>	Project No.	<u>POCO00040</u>
Contractor:	<u>MARONA Construction</u>	Contractor Super:	<u>Mike Bain/Mike Hall</u>
Date:	<u>February 22, 2016</u>	Temp / Weather:	<u>Sunny, 48 degrees</u>
Work Location:	<u>Intersection of Learn Road &amp; Route 611, Pocono Township, Monroe Co., PA</u>		

## **EQUIPMENT:**

Rubber tire loader, Hitachi 650LC excavator, CAT excavator, various pumps for dewatering excavations and storm basin.

## **REMARKS:**

- Contractor installing sewer pipe support rail, no heavy construction.
- Met with PADOT representatives Kevin O'Donnell and John Cox to review project schedule with Foreman, required material certification slips, paving and backfill requirements, and coordinated inspection of manhole placement in DOT ROW.
- Met with Rick Mosier and Nick Barese of BCRA to discuss water line relocation plans with foreman.

Name:

Mark Ambrose, P.E.

Supervisor:

Russell Benner, P.E.



# DAILY CONSTRUCTION REPORT

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Project Name:	<u>Pocono Township Route 611 Sewer Improvements</u>	Project No.	<u>POCO00040</u>
Contractor:	<u>MARONA Construction</u>	Contractor Super:	<u>Mike Bain/Mike Hall</u>
Date:	<u>February 23, 2016</u>	Temp / Weather:	<u>Sunny, 32 degrees</u>
Work Location:	<u>Intersection of Learn Road &amp; Route 611, Pocono Township, Monroe Co., PA</u>		

## **EQUIPMENT:**

Rubber tire loader, Hitachi 650LC excavator, CAT excavator, various pumps for dewatering excavations and storm basin.

## **REMARKS:**

- Contractor installing sewer pipe support rail, and beginning to install 24-inch sewer main with pipe supports and joint restraints.
- Had Jim Ridgik of PennVest on site to meet with foreman and discuss the project as required by PennVest for funding reimbursement. Jim asked questions related to the overall construction process and sequence and when substantial completion is expected. He also verified materials on site by taking photo documentation for his records. We later returned to the office to review project paper work.

Name: Mark Ambrose, P.E.

Supervisor: Russell Benner, P.E.



# DAILY CONSTRUCTION REPORT

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Project Name:	<u>Pocono Township Route 611 Sewer Improvements</u>	Project No.	<u>POCO00040</u>
Contractor:	<u>MARONA Construction</u>	Contractor Super:	<u>Mike Bain/Mike Hall</u>
Date:	<u>February 24, 2016</u>	Temp / Weather:	<u>Sunny, 55 degrees</u>
Work Location:	<u>Intersection of Learn Road &amp; Route 611, Pocono Township, Monroe Co., PA</u>		

## **EQUIPMENT:**

Rubber tire loader, Hitachi 650LC excavator, CAT excavator, various pumps for dewatering excavations and storm basin.

## **REMARKS:**

- Contractor continues installing sewer pipe support rail, and installing 24-inch sewer main with pipe supports and joint restraints. Sewer main being installed from sending pit and access to install support rail is from receiving pit.
- No excavation at this time until sewer main is installed.

Name: Mark Ambrose, P.E.

Supervisor: Russell Benner, P.E.



# DAILY CONSTRUCTION REPORT

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Project Name:	<u>Pocono Township Route 611 Sewer Improvements</u>	Project No.	<u>POCO00040</u>
Contractor:	<u>MARONA Construction</u>	Contractor Super:	<u>Mike Bain/Mike Hall</u>
Date:	<u>February 26, 2016</u>	Temp / Weather:	<u>Cloudy, 25 degrees</u>
Work Location:	<u>Intersection of Learn Road &amp; Route 611, Pocono Township, Monroe Co., PA</u>		

## **EQUIPMENT:**

Rubber tire loader, Hitachi 650LC excavator, CAT excavator, various pumps for dewatering excavations and storm basin.

## **REMARKS:**

- Contractor nearly finished installing sewer pipe support rail (approximately 80' remaining), and installing 24-inch sewer main with pipe supports and joint restraints. Approximately 440 feet of sewer main installed.
- Review E&S controls and traffic pattern with foreman.
- Send manhole certification slips to DOT.

Name: Mark Ambrose, P.E.

Supervisor: Russell Benner, P.E.



# DAILY CONSTRUCTION REPORT

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Project Name:	<u>Pocono Township Route 611 Sewer Improvements</u>	Project No.	<u>POCO00040</u>
Contractor:	<u>MARONA Construction</u>	Contractor Super:	<u>Mike Bain/Mike Hall</u>
Date:	<u>Week of February 29, 2016</u>	Temp / Weather:	<u>Partly sunny, 49 degrees</u>
Work Location:	<u>Intersection of Learn Road &amp; Route 611, Pocono Township, Monroe Co., PA</u>		

## **EQUIPMENT:**

Rubber tire loader, Hitachi 650LC excavator, CAT excavator, various pumps for dewatering excavations and storm basin.

## **REMARKS:**

- Contractor continuing the installation of 24-inch PVC sewer main piping in 20-foot sections.
- No heavy construction.

Name: Mark Ambrose, P.E.

Supervisor: Russell Benner, P.E.



# DAILY CONSTRUCTION REPORT

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Project Name:	<u>Pocono Township Route 611 Sewer Improvements</u>	Project No.	<u>POCO00040</u>
Contractor:	<u>MARONA Construction</u>	Contractor Super:	<u>Mike Bain/Mike Hall</u>
Date:	<u>March 1, 2016</u>	Temp / Weather:	<u>Sunny, 50 degrees</u>
Work Location:	<u>Intersection of Learn Road &amp; Route 611, Pocono Township, Monroe Co., PA</u>		

## **EQUIPMENT:**

Rubber tire loader, Hitachi 650LC excavator, CAT excavator, various pumps for dewatering excavations and storm basin.

## **REMARKS:**

- Completed the installation of the 24-inch sewer main and is preparing to test main and set manhole bases at the sending and receiving pits. Coordinating for PADOT inspection and approval.
- No heavy construction.

Name: Mark Ambrose, P.E.

Supervisor: Russell Benner, P.E.



# DAILY CONSTRUCTION REPORT

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Project Name:	<u>Pocono Township Route 611 Sewer Improvements</u>	Project No.	<u>POCO00040</u>
Contractor:	<u>MARONA Construction</u>	Contractor Super:	<u>Mike Bain/Mike Hall</u>
Date:	<u>March 2, 2016</u>	Temp / Weather:	<u>Partly cloudy, 47 degrees</u>
Work Location:	<u>Intersection of Learn Road &amp; Route 611, Pocono Township, Monroe Co., PA</u>		

## **EQUIPMENT:**

Rubber tire loader, Hitachi 650LC excavator, CAT excavator, various pumps for dewatering excavations and storm basin.

## **REMARKS:**

- Contractor tested sewer main for leaks (air test at 4 PSI for 15 minutes). Line passed with no leaks.
- Contractor is working at receiving pit to prepare to install manhole base, establishing final grade.
- Met with PADOT inspector to verify required backfill placement requirements prior to placement of manhole base at receiving pit. PADOT inspector approved manhole base placement. The bulkhead was constructed at the receiving pit.

Name: Mark Ambrose, P.E.

Supervisor: Russell Benner, P.E.



# DAILY CONSTRUCTION REPORT

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Project Name:	<u>Pocono Township Route 611 Sewer Improvements</u>	Project No.	<u>POCO00040</u>
Contractor:	<u>MARONA Construction</u>	Contractor Super:	<u>Mike Bain/Mike Hall</u>
Date:	<u>March 3, 2016</u>	Temp / Weather:	<u>Cloudy, 30 degrees</u>
Work Location:	<u>Intersection of Learn Road &amp; Route 611, Pocono Township, Monroe Co., PA</u>		

## **EQUIPMENT:**

Rubber tire loader, Hitachi 650LC excavator, CAT excavator, various pumps for dewatering excavations and storm basin.

## **REMARKS:**

- Contractor placed backfill and manhole base at sending pit, approved by PADOT inspector. The bulkhead was constructed at the sending pit.

Name: Mark Ambrose, P.E.

Supervisor: Russell Benner, P.E.

**AMENDED AND RESTATED PROFESSIONAL  
SERVICES ESCROW AGREEMENT**

THIS AGREEMENT, is made this \_\_\_\_<sup>th</sup> *day of April, 2016*, by and between THE TOWNSHIP OF POCONO, a Township of the First Class, with its principal place of business being located at 112 Township Drive, Tannersville, Monroe County, Pennsylvania 18372 (hereinafter referred to as “Township”),

AND

*St. Luke’s Hospital, Monroe Campus*, business or individual operating in the State of Pennsylvania, with its principal place of business or residence being located at Rt. 611 and Wigwam Road, Bartonsville (hereinafter referred to as “Developer/Owner”).

WITNESSETH:

WHEREAS, Developer/Owner, is the equitable/record owner of the subject property(s), located in **STROUD** Township, Monroe County, Pennsylvania, being Monroe County Tax Parcel Number(s) **17638104725232**, and is pursuing the following named subdivision/land development plan, project and/or improvements also known as:

***Wigwam Park Road Realignment for St. Luke’s Hospital, Monroe Campus;***

WHEREAS, Developer/Owner has requested to meet and consult with the Township’s professionals and consultants, including, but not limited to the Township Engineer, Township Solicitor, and other experts, consultants and professionals employed and/or contracted by the Township relative to said improvements review (hereinafter “Professionals”); and

WHEREAS, the Township’s Professionals will also provide certain inspections and services during the Wigwam Park Road Realignment to ensure that it is being performed in a workman like manner and consistent with a “Sanitary Emergency Plan Agreement” by and between the Township and Developer/Owner (the “Implementation Services”);

WHEREAS, Developer/Owner recognizes that the administrative overhead of the Township, including but not limited to staff services of its secretaries, code enforcement officer, planning officer, zoning officer, and other Township employees now or hereafter employed (hereinafter “Staff”) will be utilized in said review discussions and Implementation Services, all to the financial detriment of the Township; and

WHEREAS, Developer/Owner further recognizes that the Township will incur a certain amount of fees, costs, charges and expenses (collectively “Expenses”) on account of said activities; and

WHEREAS, Developer/Owner realizes that said Expenses will be incurred by the Township relative to review discussions and Implementation Services with its Professionals and Staff, and Developer/Owner is willing to be solely responsible for the payment of the same, so long as the same are reasonable.

NOW, THEREFORE, intending to be legally bound, the parties hereto do hereby promise, covenant and agree as follows:

1. The “Whereas” clauses above mentioned are incorporated herein by reference as if fully set out and, further form part of the parties’ agreements. Developer/Owner hereby warrants and represents that it is the record owner of the subject Property, and further, that they agree to be bound by the terms and conditions contained within this Agreement.

2. Township, at the request of Developer/Owner agrees to allow its Professionals and Staff to meet for review purposes with Developer/Owner and review certain plans and agreements relating to Township facilities and to perform the Implementation Services, so long as the reasonable Expenses incurred by the Township relative to the same are fully paid by Developer/Owner. Developer/Owner hereby agrees to be solely responsible for the payment of same.

3. In consideration for the privilege of Developer/Owner meeting with the Professionals and Staff of Township and the Implementation Services, Developer/Owner hereby agrees that this Agreement supplements the Township Fee Schedule and any other applicable laws, ordinances, rules and regulations governing reimbursement to the Township of said Expenses, including applicant’s rights under the Pennsylvania Municipalities Planning Code (“MPC”), and further, Developer agrees that consulting fees include legal fees incurred by the Township. Developer will deposit, for the sole benefit of the Township, as escrow agent, the initial sum of **\$3,000.00**; said monies to be held in an account administered solely by the Township, for the exclusive purposes hereinafter set forth (hereinafter “Escrow”). Receipt of the initial escrow amount will be acknowledged by Township when so deposited.

4. Developer/Owner agrees that the Escrow account shall be used to reimburse the Township for any and all Expenses, fees and charges of its Professionals and Staff, which may be based on charges for particular services, and agrees that the Township’s Solicitor is deemed to be a professional consultant. The Township will provide Developer/Owner, on a monthly basis, with an itemized invoice containing copies of all invoices received by the Township from its Professionals and/or Staff during the prior month. Any provision governing reimbursement to the Township of such fees and expenses contained in the MPC or any other applicable law, ordinance, rule or regulation notwithstanding, the parties further agree that, if Developer/Owner disputes any Professional Fee, or any other cost associated with the same, said dispute shall be referred, at the Developer/Owner’s sole expense, to an engineer and/or attorney, depending on the type of fee disputed, licenses in the Commonwealth of Pennsylvania (hereinafter “Professional Arbitrator”). The Professional Arbitrator shall be chosen by agreement of the parties, or, if that cannot be accomplished, by a Judge of the Court of Common Pleas of Monroe County. Within twenty-five (25) days of receipt of said disputed invoice or charge, the Professional Arbitrator shall make a final, binding and non-appealable decision as to whether the

amount is, in whole or in part, reasonable and necessary to the Project. Within ten (10) days of the determination by said Professional Arbitrator, the monies shall be paid in accordance with the Professional Arbitrator's determination. Further, during the time period that elapses while the Professional Arbitrator is making his determination, all time constraints imposed upon the Township under the MPC or any other applicable law, ordinance, rule or regulation is hereby waived by the Developer/Owner, as further described in Paragraph 8 hereof. In the event Developer/Owner disputes the amount of any Professional fee, the Developer/Owner shall notify the Township in writing by certified or registered mail of any disputed fees. Said notification must be received by the Township within ten (10) days from the date the Township issued a summary statement of itemized fees to the Developer/Owner.

5. The balance of the Escrow shall at no time be in an amount of less fifty percent (50%) of the original amount, or **\$1,500.00** ("Minimum Balance"). In the event that the balance of the Escrow Account falls below the Minimum Balance, the Township shall request Developer/Owner to deposit in the Escrow, within ten (10) business days after receipt of notification by the Township, an amount to bring the Escrow balance up to one hundred (100%) percent of the original Escrow amount. At its sole discretion, the Township shall review the Escrow on a periodic basis and may require a reasonable increase in the Minimum Balance. The amount of the Escrow is also subject to future modification by terms of the Developer's Improvement Agreement with Township. At such time after the Developer/Owner's plans and/or improvements are finally approved and construction of every required improvement is fully completed in accordance with said Plans, as determined by the Township Engineer, or the Plans have been denied or withdrawn, any balance remaining in the Escrow account shall be returned to Developer/Owner.

6. The Escrow established herein shall be deemed Cash Collateral for the sole and exclusive benefit of the Township, as that term is applied in Bankruptcy proceedings. This instrument shall also be deemed a security agreement creating a first-lien security interest in favor of the Township in the Escrow.

7. If Developer/Owner fails at any time, following a request from the Township in accordance with Paragraph 5 to maintain the Minimum Balance, the parties agree that the Township Professionals and Staff will not be obligated to converse or meet with the Developer/Owner or his representatives; and Developer/Owner waives any rights it may have under the MPC or any decisional law pertinent thereto, relative to the 90 day time limit for review imposed by Section 508 of the MPC. Any review discussions with the Township Professionals and Staff shall then resume at such time as the Escrow is replenished by Developer/Owner.

8. The parties agree that this Agreement is a professional Escrow only and shall in no way, either expressly or tacitly, be construed as a construction or improvements escrow.

9. Either party may terminate this Agreement for any reason by providing a written notice of intent to terminate, and formal plan withdrawal, if applicable. It is understood and agreed that, other than for good cause shown, the Township may not terminate this Agreement so long as the Developer/Owner is in compliance in all material respects with all of the terms of this

Agreement and any other related documentation between the parties, their successors and assigns. Upon receipt of said Notice by the other party, this Agreement shall terminate forty-five (45) days from said date. All Professional Fees due the Township, including those incurred by the Township within the above-referenced time period, shall be paid from the Escrow created herein. Any balance in the Escrow fund shall be paid by the Township to Developer/Owner within ten (10) days after the above-mentioned forty-five (45) days time period.

10. Any notice of intent to terminate required under this Agreement, to be effective, shall be forwarded by certified mail, return receipt requested, addressed as follows:

If to Developer/Owner: Saint Luke's Hospital of Bethlehem, Pennsylvania  
801 Ostrum Street  
Bethlehem, PA 18015  
Attention: General Counsel

with a copy to:

Fitzpatrick Lentz & Bubba, P.C.  
Attn: Steven T. Boell, Esquire  
4001 Schoolhouse Lane  
Center Valley, PA 18034-0219

If to Township: Gregg Schuster, Township Manager  
Pocono Township  
P.O. Box 197  
Tannersville, PA 18372

With copy to: Leo V. DeVito, Jr., Esquire  
Broughal & DeVito, L.L.P.  
38 West Market Street  
Bethlehem, PA 18018

12. The invalidity or unenforceability of any particular provision of this Agreement shall not affect any other provision hereof, and the Agreement shall be construed in all respects as if such invalid or unenforceable provisions were omitted.

13. No failure to act upon any default or to exercise any right or remedy hereunder shall constitute a waiver of such default or a waiver of any other terms of the within Agreement.

14. This Agreement shall be binding upon the parties hereto, their successors and assigns, and shall not be altered, amended or vacated, except by the express written consent of all parties.

15. This Agreement shall be governed and shall be construed and interpreted in Pennsylvania in accordance with the laws of the Commonwealth of Pennsylvania.

16. This Agreement may be signed in multiple counterparts and all such counterparts shall be deemed to be one and the same Agreement.

17. The Owner/Developer has fully read, completely understands and agrees to the Township Escrow Policies and Procedures as attached herein and signed accordingly.

In consideration, of the Township's acceptance of this Agreement and with the intent to be legally bound, the undersigned have executed this Agreement on the date beside his/her/its name.

TOWNSHIP OF POCONO

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Print: \_\_\_\_\_

\_\_\_\_\_  
Date

DEVELOPER(S)/OWNER(S)

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Print: \_\_\_\_\_

\_\_\_\_\_  
Date

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Print: \_\_\_\_\_

\_\_\_\_\_  
Date

# TOWNSHIP OF POCONO

## ESCROW POLICIES AND PROCEDURES

- Application and escrow fees will be submitted as separate checks, made payable to “Pocono Township”.
- All escrow fees must be paid at the time of filing an application. The Applicant is reminded that Applicant will be responsible for payment of all legal, engineering and other invoices or fees necessary to approve the plans by the Township, and is the purpose of the escrow account. All legal, engineering and other township professional costs involved with a specific permit, development or subdivision, including fees associated with recording a plan may be paid from the escrow account.
- The escrow fee shall be payable at the time of the submission to the Township and shall remain in effect through the completion of the review, recording and/or building process.
- The calculation of escrow is merely an estimate of the costs associated with the application. It is possible that additional escrow funds may be necessary that exceed the initial calculation of fees due to engineering legal, and other invoices and fees.
- Monthly statements regarding withdrawals for documented expenses incurred with account balances will be sent to the Developer/Applicant listed on the application form.
- The escrow account balance will be refunded approximately sixty (60) days after the following applicable conditions are met, to include but are not limited to: Recording of the plan, completion/termination of the project, final engineering sign-off, and issuance of the Final Use & Occupancy Permit. Escrow account balances will be returned only when all approvals are received, and all invoices related to the project have been processed by the Township. Refunds will be made only to the Applicant.
- Issuance of a Conditional or Temporary Use and Occupancy. This permit requires the Property Owner to escrow the full amount of monies necessary to complete all improvements to the structure as determined by the Township Zoning Officer and/or Township Engineer. Examples where this may apply include final seeding/mulching and grading for a new home, or commercial structure or lighting requirements, etc.

APPLICANT(S)

\_\_\_\_\_

\_\_\_\_\_  
Date

\_\_\_\_\_

\_\_\_\_\_  
Date

**ESCROW ACCOUNT CONTACT & BENEFICIARY INFORMATION**

DATE OF APPLICATION: \_\_\_\_\_

NAME OF PROJECT: \_\_\_\_\_

**APPLICANT/OWNER:**

Name: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

**PROJECT CONTACT PERSON: (if different from above)**

Name: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

**PERSON TO CONTACT REGARDING ESCROW ACCOUNT: (if different from above)**

Name: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

## SANITARY EMERGENCY PLAN AGREEMENT

THIS AGREEMENT is made as of the \_\_\_ day of \_\_\_\_\_, 2016, by and between **ST. LUKE’S HOSPITAL – MONROE CAMPUS**, a Pennsylvania non-profit corporation (“St. Luke’s”) and **TOWNSHIP OF POCONO**, a municipal corporation organized and existing as a township of the second class under the laws of the Commonwealth of Pennsylvania (the “Township”).

### BACKGROUND

A. St. Luke’s has commenced construction of a new hospital and medical office building together with related facilities and improvements (collectively, the “**St. Luke’s Project**”) in Stroud Township, Monroe County, Pennsylvania.

B. In connection with the St. Luke’s Project, St. Luke’s will be constructing a full access signalized driveway at the intersection of S.R. 0611 and Wigwam Park Road, which requires the realignment of a portion of Wigwam Park Road as shown on those plans which are attached hereto and incorporated herein as Exhibit “A” (the “**Wigwam Realignment**”).

C. The Township owns and operates a sanitary force main located under Wigwam Park Road around and within the area subject to the Wigwam Realignment (the “**Force Main**”).

D. The intent of this Agreement is to provide an emergency procedure for the parties to follow in the event that the Wigwam Realignment disrupts the function of the Force Main.

NOW, THEREFORE, in consideration of the mutual covenants, conditions, and agreements hereinafter set forth, the parties hereto, intending to be legally bound, do hereby agree as follows:

1. Incorporation of Recitals. The recitals hereinabove set forth are incorporated herein by this reference just as if the same were reproduced and republished at length herein.

2. Sanitary Sewer Plan/Emergency Plan. St. Luke’s shall undertake the Wigwam Realignment and any and all related work or construction activities shall in a manner consistent with the plan set forth in Exhibit “B” attached hereto and incorporated herein by reference (the “**Sanitary Sewer Plan**”). Further, in the event that the Force Main is disturbed, impacted, or interfered with during the course of the Wigwam Realignment or any related construction activities, St. Luke’s shall follow the emergency procedure outlined in the Sanitary Sewer Plan. The Township agrees to provide any and all reasonable support required for the implementation of the Sanitary Sewer Emergency Plan.

3. Indemnification. Unless arising from the Township’s own negligence or willful misconduct or that of its agents, employees, invitees and representatives, St. Luke’s does hereby release, indemnify, defend, protect, and save harmless the Township from and against any and all claims, demands, liability, damages, costs and expenses, including without limitation, court costs and attorney’s fees, resulting from any and all loss of life or property, or for injury or damage to

the person or property of any person, firm, corporation, or entity, arising out of or in connection with the negligence or willful misconduct of St. Luke's, its agents, employees, or invitees, regarding (i) any damage to the Force Main; and (ii) any other damage incurred as a result of the Wigwam Realignment.

5. Escrow. St. Luke's shall reimburse the Township for any and all reasonable costs and expenses incurred relating to this Agreement as described in the Professional Services Agreement executed on the same date herewith.

5. General Provisions.

(a) Entire Agreement. This Agreement constitutes the entire agreement between the parties hereto and they are not liable or bound in any manner whatsoever by express or implied warranties, guarantees, promises, statements, representations, or information made or furnished by any agent, employee, servant or other person representing or purporting to represent the parties, unless such warranties, guarantees, promises, statements, representations or information are expressly set forth herein.

(b) Modification of Agreement. A modification or waiver of any of the provisions of this Agreement shall be effective only if made in writing and executed with the same formality as this Agreement. Failure of either party to insist upon strict performance of any of the provisions of this Agreement shall not be construed as a waiver of any subsequent default of the same or similar nature.

(c) Successors and Assigns. This Agreement shall extend to and shall bind the heirs, executors, administrators, successors and assigns of the respective parties hereto.

(d) Controlling Law. This Agreement shall be governed by and construed in accordance with the laws of the Commonwealth of Pennsylvania.

(e) Severability. Any provision of this Agreement which may prove unenforceable under any law shall not affect the validity of any other provisions hereof.

(f) Notices. Notices required hereunder, or any correspondence concerning this Agreement shall be directed to the following addresses and shall be deemed properly given (i) if delivered by hand; (ii) if sent by certified mail, return receipt requested, postage prepaid, or by recognized overnight courier service, charges prepaid; or (iii) if sent by facsimile, with a copy sent by first class U.S. Mail, postage prepaid:

If to St. Luke's:

St. Luke's Hospital – Monroe Campus  
801 Ostrum Street  
Bethlehem, PA 18015  
Attn:

With a copy to:

Steven T. Boell, Esquire  
4001 Schoolhouse Lane  
P.O. Box 219  
Center Valley, PA 18034-0219

If to the Township:  
Gregg Schuster, Township Manager  
Pocono Township  
P.O. Box 197  
Tannersville, PA 18372

Attn: Leo V. DeVito, Jr., Esquire  
Township Solicitor  
Broughal & DeVito, L.L.P.  
38 West Market Street  
Bethlehem, PA 18018

*[Signatures on next page.]*

IN WITNESS WHEREOF, the parties hereto have set forth their hands and seals as of the day and year first above written.

**WITNESS:**

**ST. LUKE'S HOSPITAL – MONROE  
CAMPUS**

\_\_\_\_\_

By: \_\_\_\_\_

Thomas P. Lichtenwalner  
Senior Vice President of Finance

**TOWNSHIP OF POCONO**

\_\_\_\_\_

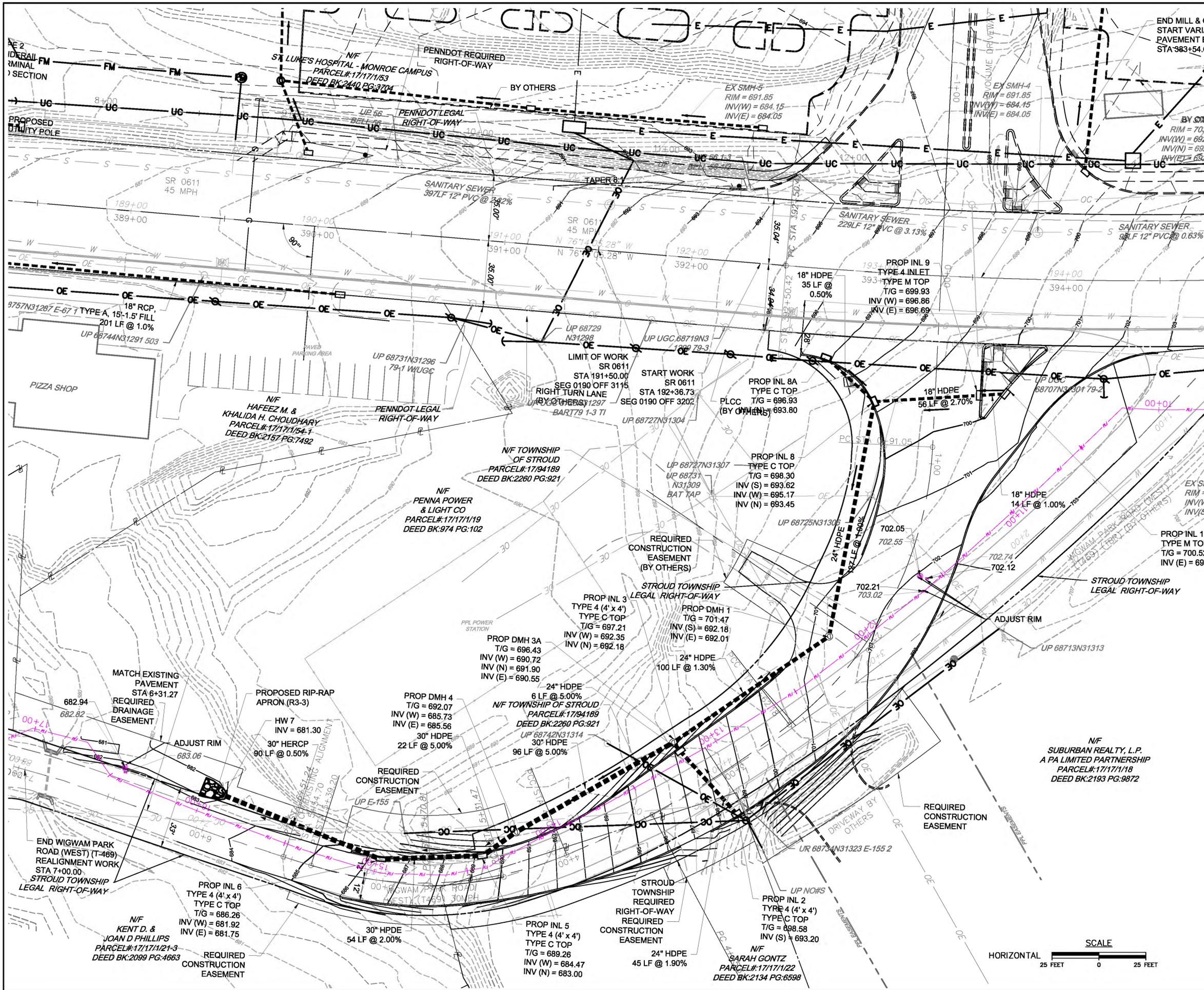
By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

**Exhibit "A"**  
**Sanitary Emergency Plan**

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	MONROE	SROGII	----	1 OF 6
STROUD TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	
1	REVISE STORMSEWER	2/26/16	SMH	
2	PER POCONO TOWNSHIP	3/25/16	SMH	



**LEGEND**

- WORK BY OTHERS
- PROPOSED EDGE OF PAVE
- PROPOSED SAWCUT
- PROPOSED CURB
- PROPERTY LINE
- LEGAL RIGHT-OF-WAY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- FM PROPOSED SANITARY SEWER LINE
- PROPOSED PIPE & INLET
- PROPOSED PAVEMENT BASE DRAIN
- W PROPOSED WATER LINE
- OE PROPOSED OVERHEAD ELECTRIC
- E PROPOSED UNDERGROUND ELECTRIC
- OC PROPOSED OVERHEAD CATV
- UC PROPOSED UNDERGROUND CATV
- UG PROPOSED GAS LINE
- S PROPOSED SANITARY MANHOLE
- O PROPOSED STORM MANHOLE
- U PROPOSED UTILITY POLE
- F PROPOSED FIRE HYDRANT
- G PROPOSED GUIDERAIL
- EXISTING GUIDERAIL
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- S EXISTING SANITARY SEWER LINE
- FM EXISTING SANITARY SEWER FORCE MAIN
- EXISTING STORM SEWER LINE
- W EXISTING WATER LINE
- G EXISTING GAS LINE
- OC EXISTING OVERHEAD CATV
- E EXISTING OVERHEAD ELECTRIC
- U EXISTING UTILITY POLE
- F EXISTING FIRE HYDRANT



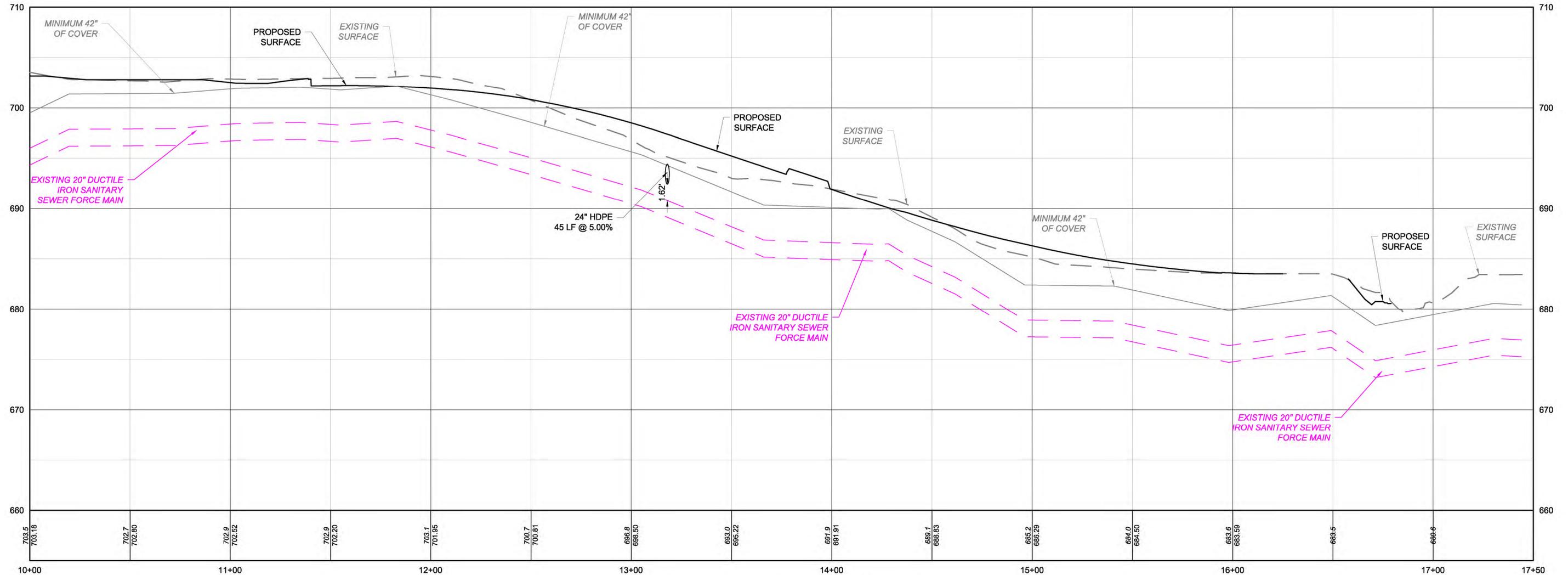
GRADING PLANS



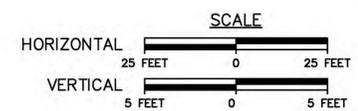




DISTRICT	COUNTY	ROUTE	SECTION	SHEET	
5-0	MONROE	SROGII	----	4 OF 6	
STROUD TOWNSHIP					
REVISION NUMBER	REVISIONS			DATE	BY
1	REVISE STORMSEWER			2/26/16	SMH
2	PER POCONO TOWNSHIP			3/25/16	SMH



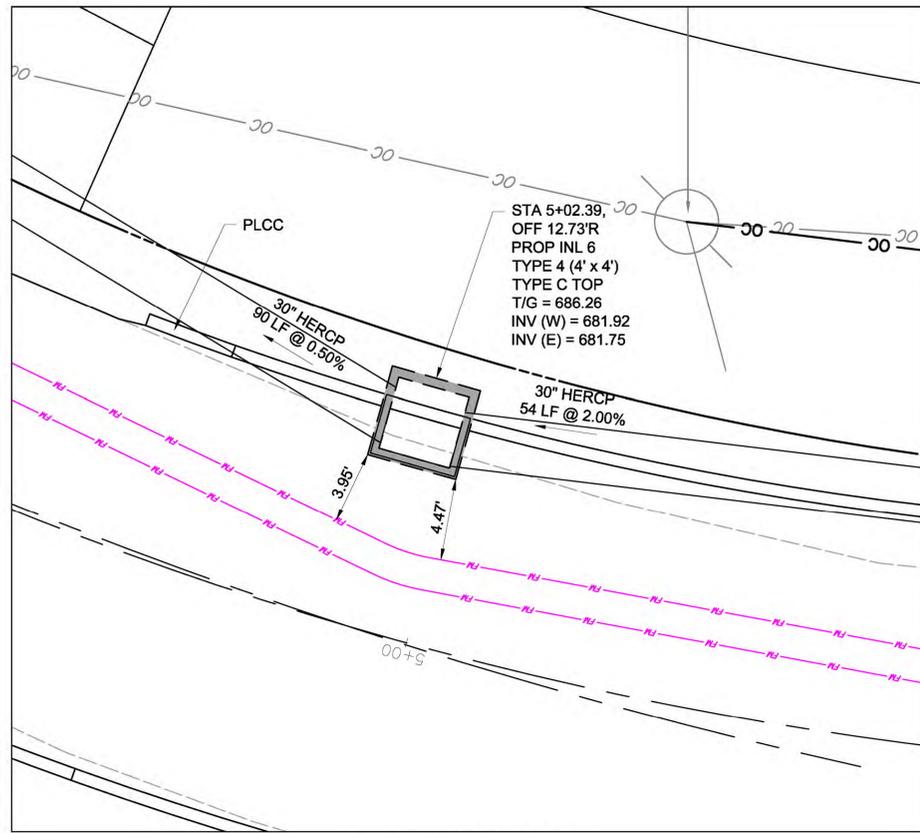
**WIGWAM PARK ROAD SANITARY SEWER FORCE MAIN PROFILE**  
 HORIZONTAL SCALE: 1" = 25'  
 VERTICAL SCALE: 1" = 5'



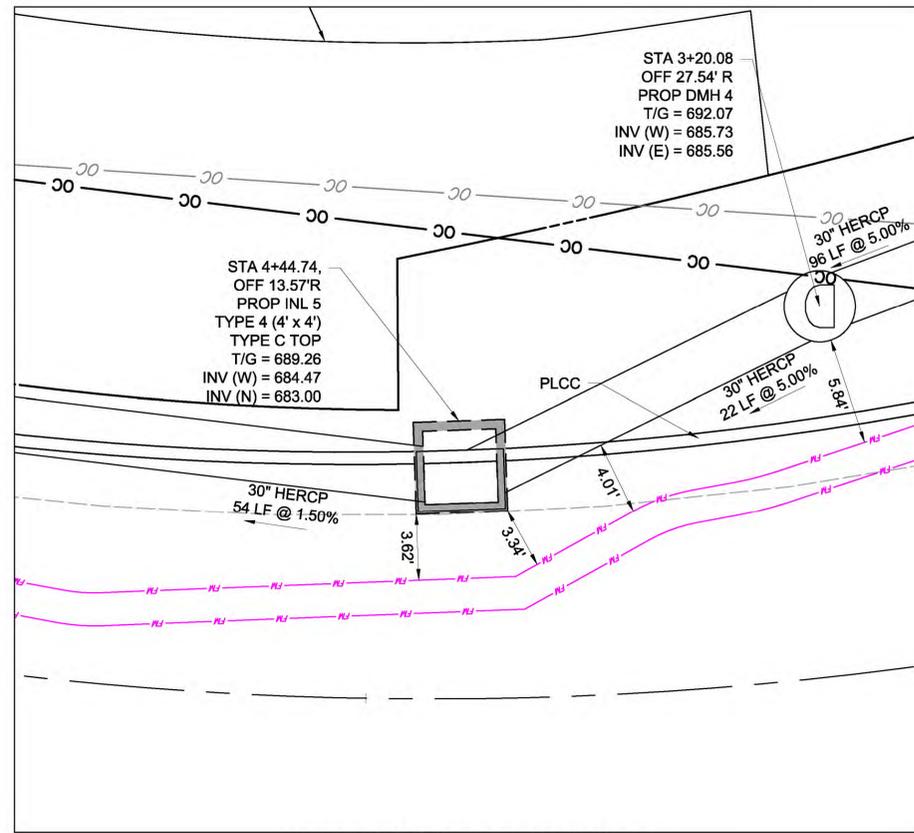
WIGWAM PARK ROAD WEST (T-469)  
 SANITARY SEWER FORCE MAIN PROFILE



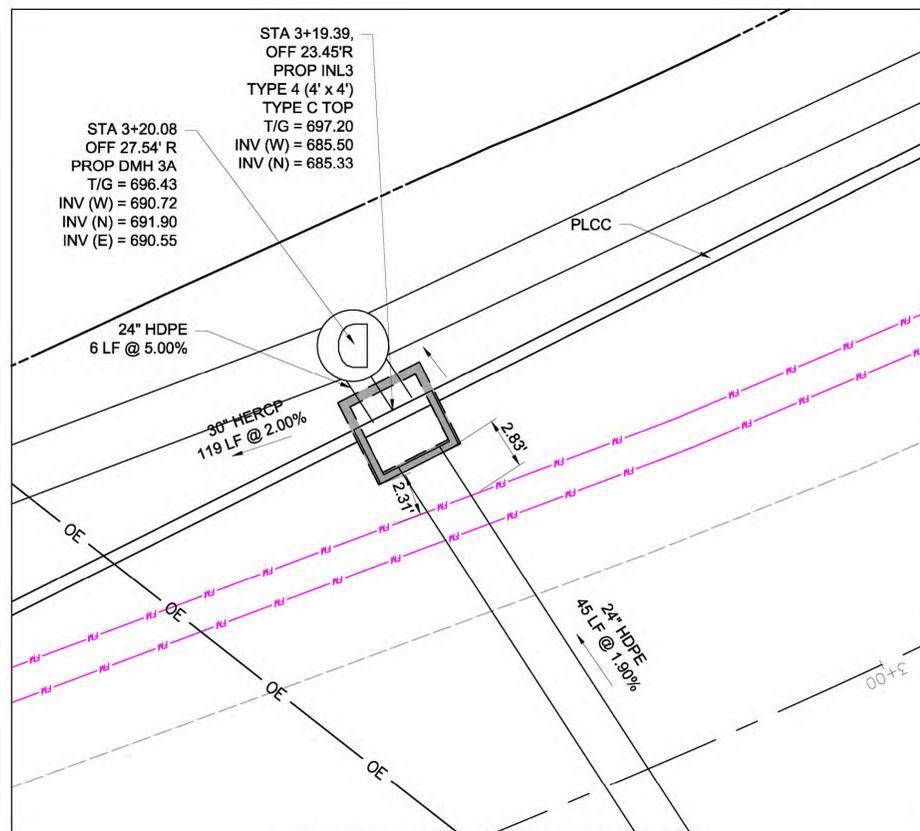
DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	MONROE	SROGII	----	5 OF 6
STROUD TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	
1	REVISE STORMSEWER	2/26/16	SMH	
2	REVISE STORMSEWER	3/7/2016	RMB	
3	PER POCONO TOWNSHIP	3/25/16	SMH	



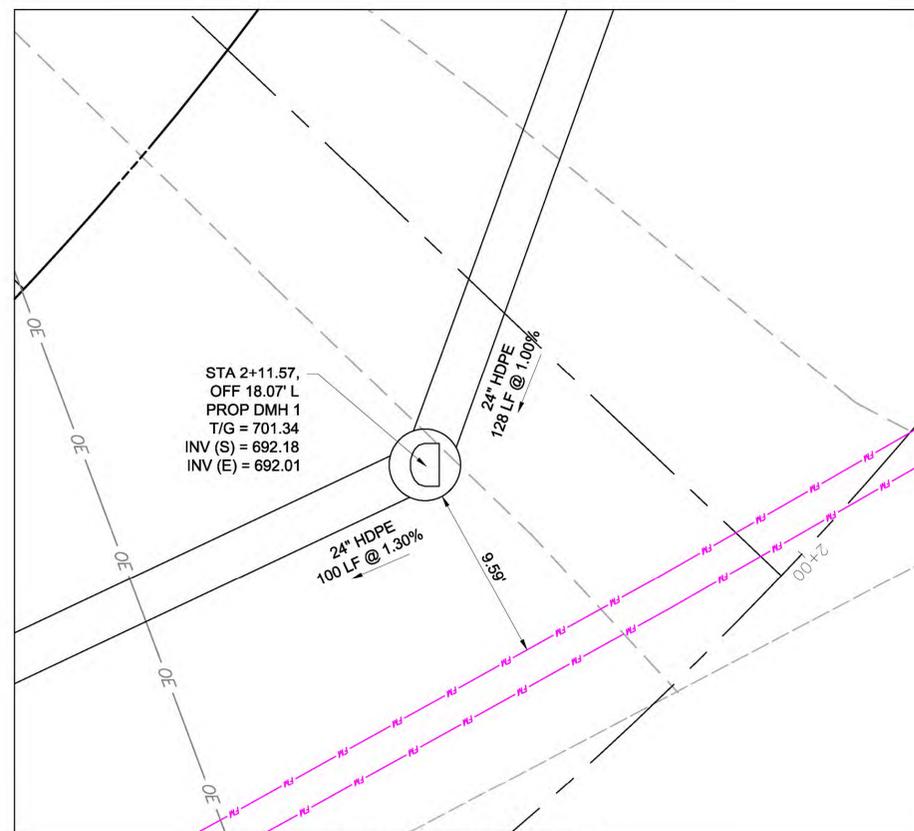
PROPOSED INLET 6



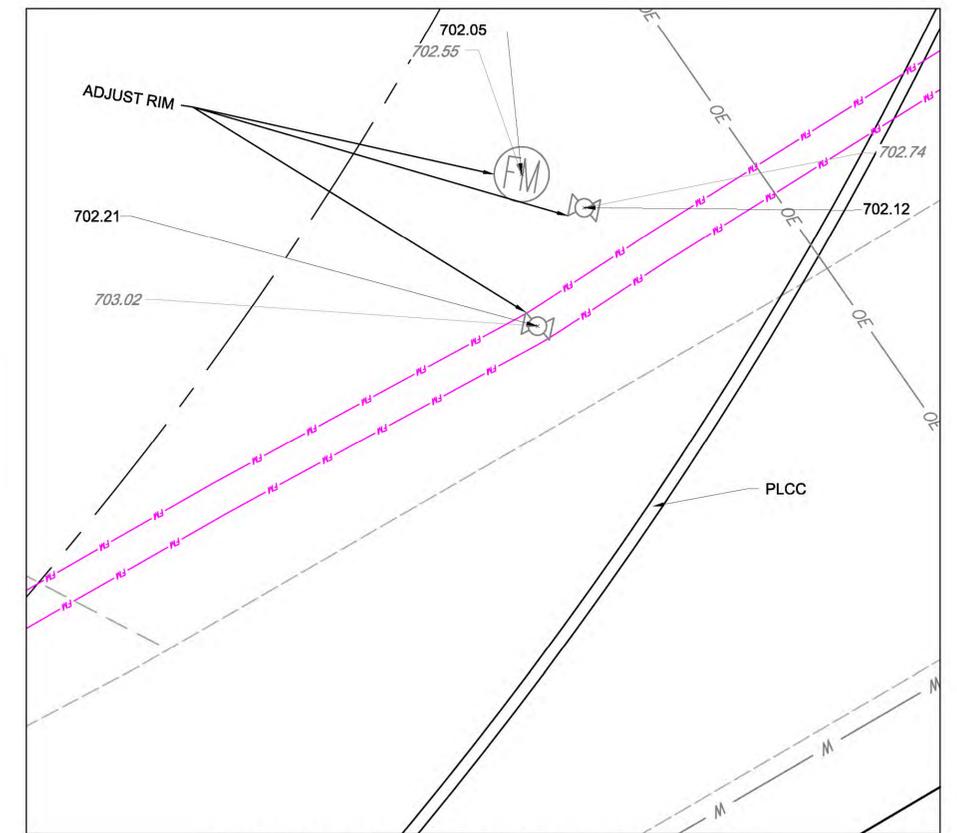
PROPOSED INLET 5 & MANHOLE 4



PROPOSED INLET 3 & MANHOLE 3A



PROPOSED MANHOLE 1



EXISTING SANITARY SEWER FORCE MAIN MANHOLE



DRAINAGE DETAILS



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	MONROE	SR0611	----	6 OF 6
STROUD TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	
1	REVISE STORMSEWER	2/26/16	SMH	
2	PER POCONO TOWNSHIP	3/30/16	SMH	

GENERAL NOTES:

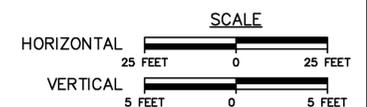
LIST OF EMERGENCY CONTACTS

EMERGENCY SEQUENCE

1. PROTECTION OF THE SANITARY FORCE MAIN IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE APPROVED BY THE POCONO TOWNSHIP INSPECTOR.
2. AREAS WHERE THE SANITARY FORCE MAIN BEDDING IS EXPOSED AND COMPROMISED SHALL BE BACKFILLED TO THE SATISFACTION OF THE POCONO TOWNSHIP INSPECTOR. EXCAVATIONS THAT CAUSE SIGNIFICANT LOSS OF SANITARY FORCE MAIN BEDDING MATERIAL MAY REQUIRE USE OF FLOWABLE FILL MATERIAL BASED ON EXCAVATION AND FILED CONDITIONS OR AS DETERMINED BY THE POCONO TOWNSHIP INSPECTOR.
3. COMPACTION OF BACKFILL MATERIAL OVER THE FORCE MAIN SHALL BE WITH THE USE OF A "JUMPING JACK" TYPE COMPACTOR. MECHANICAL COMPACTORS ATTACHED TO BACKHOES OR EXCAVATORS SHALL NOT BE PERMITTED OVER THE FORCE MAIN.
4. THE FOLLOWING ITEMS SHALL BE ON HAND WHEN WORKING WITHIN FIVE (5) FEET OF THE POCONO TOWNSHIP 20 INCH SANITARY FORCE MAIN UNDER WIGWAM PARK ROAD:
  - a. 40 LF 20" DUCTILE IRON PIPE MATCHING EXISTING PRESSURE RATING (CLASS 52)
  - b. 20" (1 EA.) GATE VALVE WITH 2 - 20" MEGALUGS: & VALVE BOX ASSEMBLY: TO BE USED IF THE EXISTING VALVE FAILS DURING OPENING AND CLOSING
  - c. 20" (1 EA.) FULL CIRCLE REPAIR CLAMP: IF PIPE IS CRACKED OR DAMAGE DURING EXCAVATION. CLAMP CAN BE INSTALLED WITHOUT FLOW DISRUPTION.
  - d. 20" (1 EA.) BELL CLAMP: IF EXISTING BELL OF PIPE IS DAMAGED DURING EXCAVATION. CLAMP CAN BE INSTALLED WITHOUT FLOW DISRUPTION.
  - e. 20" (2 EA.) REPAIR COUPLINGS WITH MEGALUGS: THESE COUPLINGS WILL BE USED IF SECTION ON EXISTING PIPE NEEDS TO BE REPAIRED. FLOW WOULD BE DISRUPTED AND LINE SHUTDOWN UNTIL REPAIRS ARE COMPLETE.
  - f. WASTEWATER PUMPING TRUCK AND RELATED SUCTION AND DISCHARGE PIPING.
5. THE POCONO TOWNSHIP PUBLIC WORKS DIRECTOR SHALL BE NOTIFIED A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO ANY CONSTRUCTION OCCURING WITHIN FIVE (5) FEET OF THE POCONO TOWNSHIP SANITARY FORCE MAIN, AND A PRE-CONSTRUCTION MEETING HELD. A REPRESENTATIVE OF POCONO TOWNSHIP SHALL NOTIFY THE BRODHEAD CREEK REGIONAL AUTHORITY SEWAGE TREATMENT PLANT OF ANY EXPECTED OR UNEXPECTED CHANGES IN FLOW RATES.
6. WORK ON OR WITHIN FIVE (5) FEET OF THE POCONO TOWNSHIP SANITARY FORCE MAIN SHALL OCCUR DURING HOURS AGREED TO AT THE PRE-CONSTRUCTION MEETING, IDEALLY DURING LOWER FLOW CONDITIONS.
7. PRIOR TO WORK THAT CROSSES THE POCONO TOWNSHIP SANITARY FORCE MAIN OR THAT EXPOSES THE FORCE MAIN BEDDING, THE WET WELLS AT THE PUMP STATIONS UPSTREAM OF THE WORK (PUMP STATIONS #3, #4, AND #5) SHALL BE DRAWN DOWN BY THE TOWNSHIP'S PUMPS TO THE MINIMUM VOLUME POSSIBLE. TWO (2) TANKER TRUCKS AND ANY REQUIRED PUMPS SHALL BE STATIONED AT PUMP STATION #5 AND ONE (1) TANKER TRUCK AND ANY REQUIRED PUMPS SHALL BE STATIONED AT THE WORK SITE AND CLEANOUT MANHOLE.
8. THE POCONO TOWNSHIP SEWER OPERATOR SHALL BE ON-SITE ON THE DAY(S) OF PROPOSED CONSTRUCTION AND WILL BE PREQUIRED TO MAKE ANY NECESSARY OPERATIONAL CHANGES AT THE IDENTIFIED PUMPING STATIONS TO ACCOMMODATE THE CONSTRUCTION PROCESS. IF CONSTRUCTION LASTS SEVERAL DAYS IT IS ANTICIPATED THAT THE PUMPING STATIONS WILL BE RETURNED TO NORMAL OPERATING STATUS AT THE END OF EACH DAY AND THAT THE WET WELLS WILL BE PUMPED DOWN AT THE BEGINNING OF EACH DAY WHEN CONSTRUCTION IS SCHEDULED TO TAKE PLACE. THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP 24 HOURS IN ADVANCE IF THERE IS A BREAK IN THE CONSTRUCTION SCHEDULE SO THAT THE OPERATOR CAN BE NOTIFIED ACCORDINGLY.
9. APPROVAL FROM THE STROUD TOWNSHIP SEWER AUTHORITY SHALL BE REQUIRED PRIOR TO DIVERTING ANY FLOW, EVEN TEMPORARILY, TO THE GRAVITY SEWER LINE ALONG SR 0611. IF AN EMERGENCY SHOULD COME TO PASS AND WRITEN APPROVAL HAS BEEN OBTAINED, THE RATE OF SEWAGE TO THE MANHOLE SHOULD BE LIMITED TO NO MORE THAN 100 GPM. THE SEWAGE SHOULD BE STRAINED TO PREVENT DEPOSIT OF DELETERIOUS MATERIAL INTO THE STROUD TOWNSHIP SEWER AUTHORITY SYSTEM. INSPECTION AND/OR CLEANING OF THE LINES MAY BE NECESSARY. PUMPING STATION FLOW RATES SHOULD BE REDUCED TO THE ALLOWABLE FLOW RATE.
10. IF ANY DAMAGE OCCURS TO THE SANITARY FORCE MAIN THE EMERGENCY SEQUENCE SHALL BE FOLLOWED IMMEDIATELY.
11. THE LOCATION OF UPSTREAM AND DOWNSTREAM VALVES AND CLEAN-OUT ASSEMBLIES SHALL BE FIELD LOCATED AND MARKED PRIOR TO CONSTRUCTION.

- MEDICAL EMERGENCIES  
911
- POCONO TOWNSHIP PUBLIC WORKS DIRECTOR, JEFFRY CLAPPER  
(O) 570-629-1922 X217 (M) 484-553-3336
- POCONO TOWNSHIP SEWER OPERATOR, BILL BASSETT  
(M) 570-846-1458
- POCONO TOWNSHIP SEWER OPERATOR, JOHN LARSON  
(M) 215-892-5135
- POCONO TOWNSHIP SEWER OPERATOR, PETE LAU  
(M) 215-385-1876
- POCONO TOWNSHIP ENGINEER - T AND M ASSOCIATES, MARK AMBROSE, PE  
(O) 610-625-2999 (M) 610-301-6736
- OWNER'S GENERAL SUPERINTENDENT - LENDLEASE, JEFF BURNSIDE  
(M) 561-704-1928
- OWNER'S REPRESENTATIVE - ST. LUKE'S, BRET BUCHMAN  
(O) 610-417-6966
- OWNER'S ENGINEER - PENNONI, SCOTT HARNEY, PE  
(O) 610-422-2440
- CONTRACTOR GENERAL SUPERINTENDENT - MUSCHLITZ EXCAVATING, STEVE GOFFREDO  
(O) 610-759-0525 (M) 610-972-7424
- STROUD TOWNSHIP SUPERVISOR, DARYL EPPLEY  
(O) 670-421-3362
- STROUD TOWNSHIP ENGINEER - REILLY ASSOCIATES, CHRIS MCDERMOTT  
(O) 570-421-7320 (M) 570-350-3412
- BRODHEAD CREEK REGIONAL AUTHORITY, KEN BROWN OR DESIGNATED CONTACT  
(O) 570-421-3232
- STROUD TOWNSHIP SEWER AUTHORITY SYSTEM OPERATOR, JOHN WURST  
(M) 570-730-3368
- STROUD TOWNSHIP SEWER AUTHORITY ENGINEER - REILLY ASSOCIATES, CHRIS MCDERMOTT  
(O) 570-421-7320 (M) 570-350-3412
- MONROE COUNTY CONSERVATION DISTRICT  
(O) 570-629-3060
- PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION  
(24 HOUR EMERGENCY RESPONSE) 570-826-2511

1. ADDRESS ANY MEDICAL EMERGENCIES. CONTACT RELEVANT EMERGENCY RESPONDERS.
2. CONTACT POCONO TOWNSHIP PUBLIC WORKS DIRECTOR, IF NOT ALREADY PRESENT ON SITE. IF HE CAN NOT BE REACHED, THE POCONO TOWNSHIP SEWER OPERATORS SHALL BE CONTACTED UNTIL SOMEONE IS REACHED.
3. IN THE EVENT OF A SANITARY SEWER OVERFLOW, NOTIFY PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION IMMEDIATELY. CONTAIN ANY SEWAGE THAT MAY BE DISCHARGED TO THE SITE. TAKE MEASURES TO ELIMINATE THE POTENTIAL FOR ANY DISCHARGED SEWAGE FROM ENTERING NEARBY STREAMS OR STORM DRAINS. CLEAN UP ANY DISCHARGE IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS.
4. NOTIFY THE BRODHEAD CREEK REGIONAL AUTHORITY, MONROE COUNTY CONSERVATION DISTRICT, STROUD TOWNSHIP, STROUD TOWNSHIP SEWER AUTHORITY, AND THE PROJECT OWNER.
5. USE TANKER TRUCKS (OR BYPASS PUMPING TO A STROUD TOWNSHIP SEWER AUTHORITY MANHOLE, IF APPROVED) TO RELIEVE PRESSURE UPSTREAM OF THE BREAK. CONTINUOUS OPERATION IS REQUIRED UNTIL REPAIR IS COMPLETED AND TESTED.
6. USE REPAIR PARTS ALREADY ON SITE TO REPAIR THE BREAK.
7. ORDER ANY ADDITIONAL PARTS REQUIRED FOR THE REPAIR ON AN EXPEDITED BASIS.
8. VISUALLY INSPECT REPAIRS AND TEST AT PROCEDURES DEVELOPED AT THE PRE-CONSTRUCTION MEETING OR IN THE FIELD BASED ON THE EXTENT OF THE REPAIRS.
9. RETURN TO NORMAL CONSTRUCTION.



NOTES



# MEMORANDUM

Date: March 30, 2016

To: Gregg Schuster, Township Manager

FROM: Jeffrey D. Clapper, Public Works Director

RE: Pocono Heritage Center

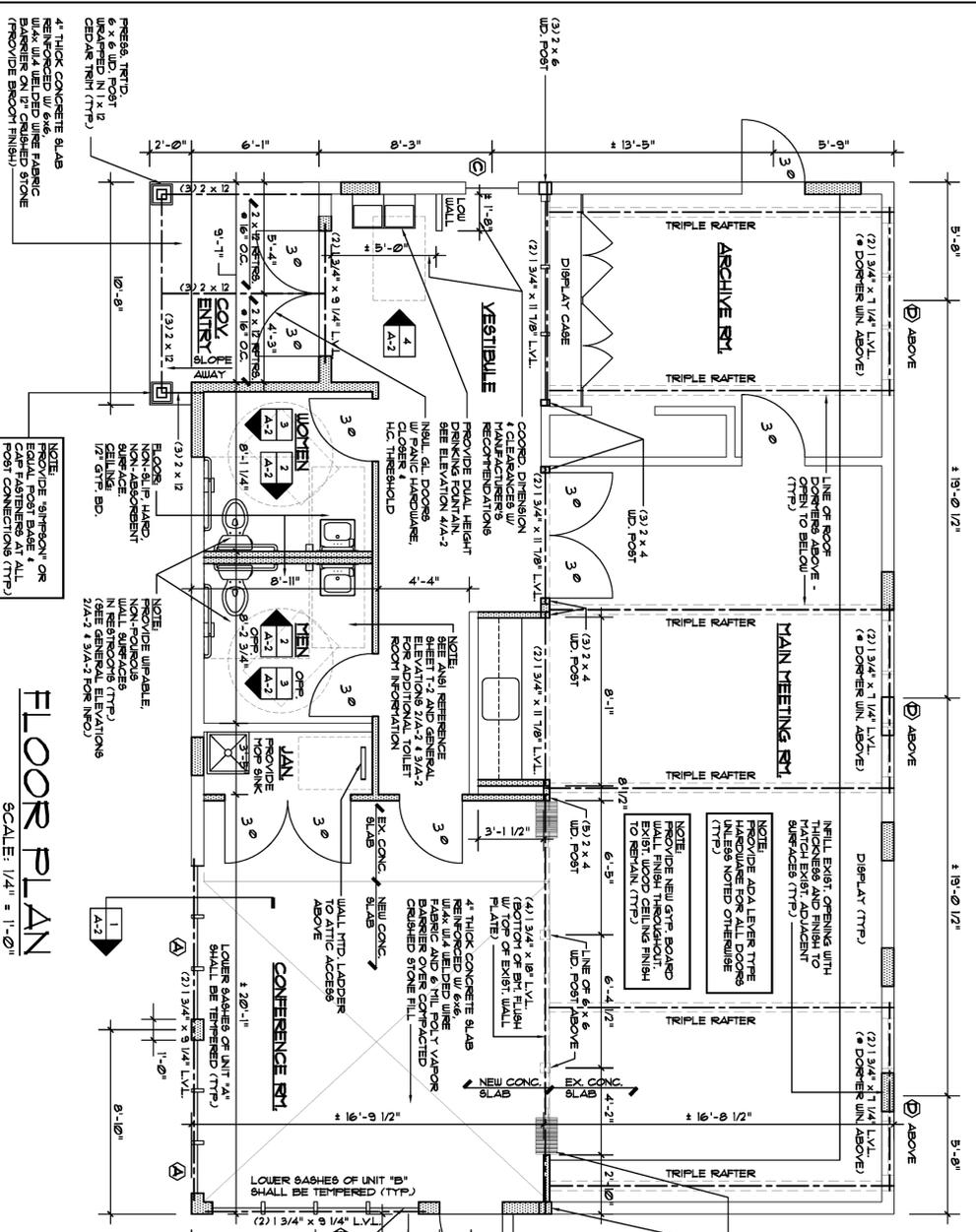
As you are aware, there is an active plan to remodel the existing Mountain View Park building that is currently utilized as a park office, small rental room, and a voting facility for the Township. An organization has been formed, known as the Heritage Foundation, that is raising funds and accepting donations to remodel this building that will provide meeting rooms as well as an artifact room for historical artifacts and other information from Pocono Township and the surrounding areas.

The project received conceptual approval from the BOC in 2015 when the Heritage Foundation provided a rendering of the facility. Recently I was provided plans of the proposed remodeling work. I have reviewed the plans that were prepared by Schoonover and Vanderhoof Architects, LLC. It is my understanding the Heritage Foundation will provide all funding and complete all construction of the work without any Township involvement. I recommend that the BOC approve the remodeling plans and provide the Foundation permission to proceed with construction.

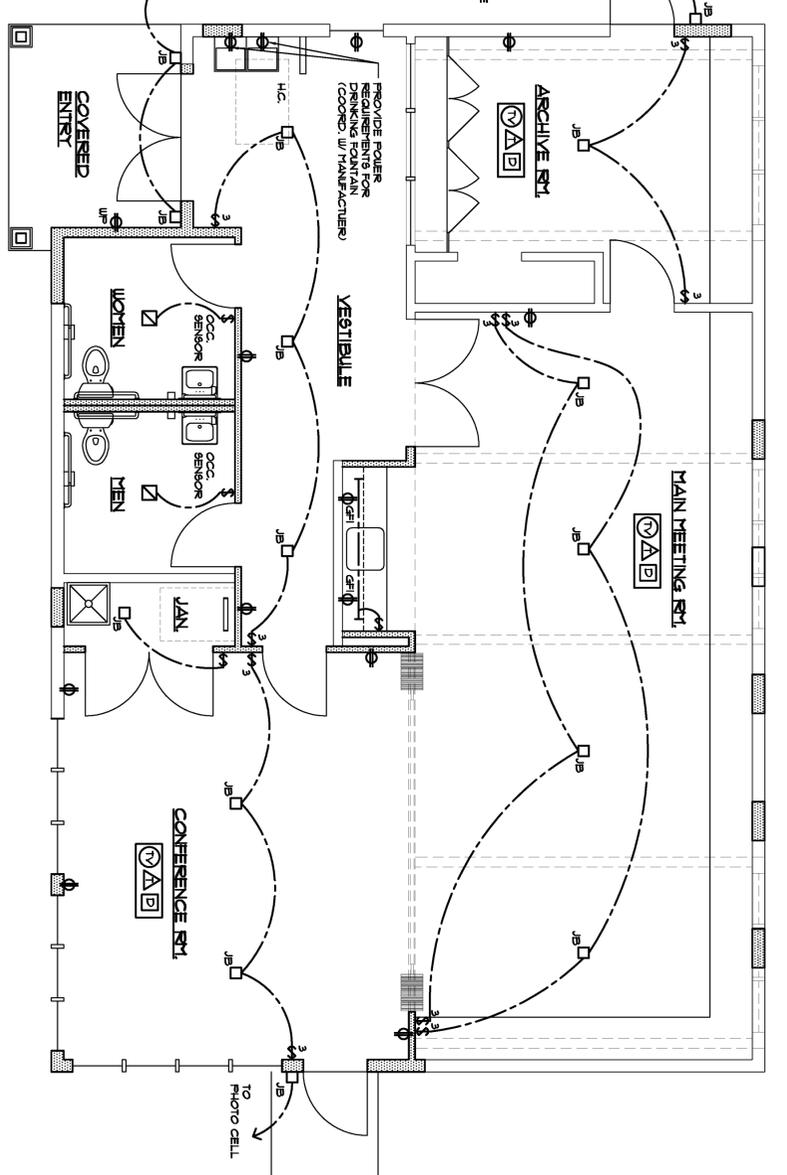
The Recreation Committee at their regularly scheduled monthly meeting has recommended that Pocono Township remodel the existing bathrooms in this building as a separate project so they will meet current handicap requirements. Their recommendation was to utilize the existing recreation specific funds to do this. If the BOC approves this expenditure, then we will solicit for quotes to perform the work. The price will not exceed the purchasing threshold of \$ 19,400, so sealed bids will not be required.

If you have any questions, please contact me.





**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

NOTE:  
PROVIDE ICE & LEATHER  
SHIELD AT ALL ROOF  
EDGES AND VALLEYS (TYP)

NOTE:  
PROVIDE 3/8" X 3" OR  
EQUAL POST BASE &  
CAP FASTENERS AT ALL  
POST CONNECTIONS (TYP)

NOTE:  
PROVIDE IMPERMEABLE  
NON-SLIP MAJOR  
NON-SLIP MAJOR  
SURFACES  
IN RECREATION  
CEILING  
(SEE GENERAL ELEVATIONS  
21A2 & 31A2 FOR INFO)

**WINDOW SCHEDULE**

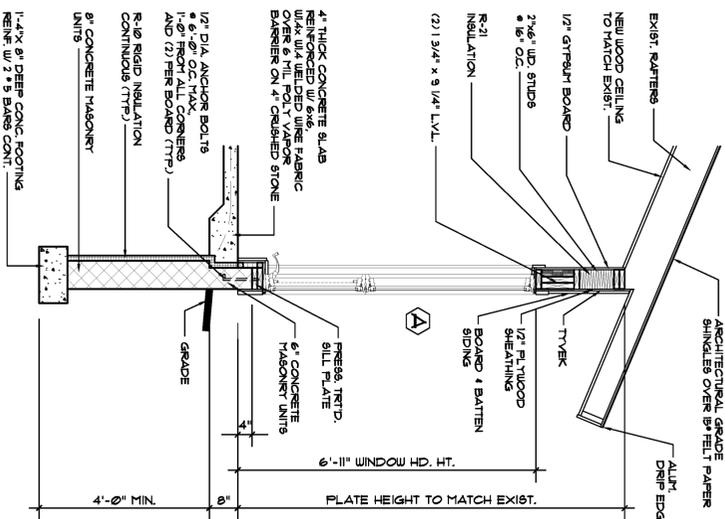
SYMBOL	NER / MODEL	TYPE	U-FACTOR	COMMENTS
A	ANDERSEN • CU14-3	CG-TT	35	SEE PLANS FOR LOCATIONS
B	ANDERSEN • CU14-4	CG-TT	35	SEE PLANS FOR LOCATIONS
C	ANDERSEN • CU15-4	CG-TT	35	SEE PLANS FOR LOCATIONS
D	ANDERSEN • CU15-3	CG-TT	35	

**WINDOW NOTES:**

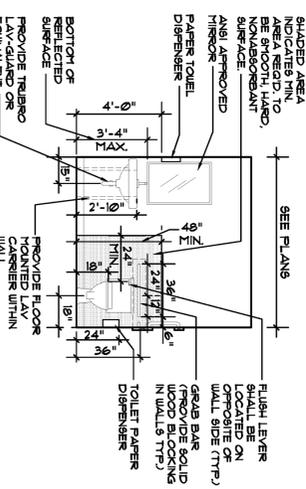
1. PROVIDE THERMATED GLASS IN LOCATIONS REQUIRED
2. IN THE LATEST VERSION OF THE IBC, ALL WINDOWS ARE REQUIRED TO BE OPERABLE UNLESS OTHERWISE NOTED
3. PROVIDE INSET SCREENS IN ALL OPERABLE WINDOWS
4. PROVIDE GRILLE PATTERNS AS PER ELEVATIONS
5. WINDOWS ARE TO BE "ANDERSEN 4000 SERIES OR EQUIVALENT"
6. REFER TO ELEVATIONS FOR ALL WINDOW HEAD HEIGHT DIMENSIONS
7. CONTRACTOR TO VERIFY WINDOW ROUGH OPENING SIZES WITH WINDOW MANUFACTURER'S SPECIFICATIONS

**EXTERIOR DOOR NOTE:**

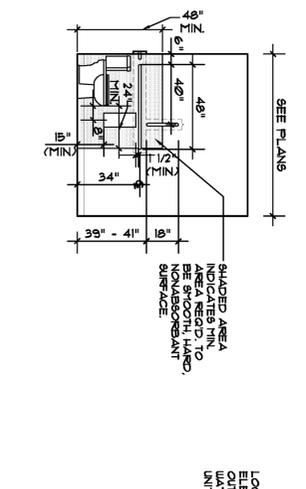
ALL EXTERIOR DOORS TO BE INSULATED AND TO PROVIDE A MINIMUM U-FACTOR OF .25



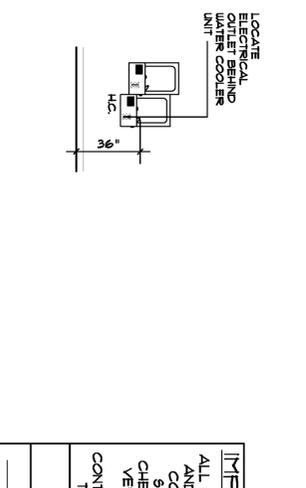
**SECTION 1**  
SCALE: 1/4" = 1'-0"



**ELEVATION 2**  
SCALE: 1/4" = 1'-0"



**ELEVATION 3**  
SCALE: 1/4" = 1'-0"



**ELEVATION 4**  
SCALE: 1/4" = 1'-0"

NOTE:  
COORDINATE ALL FINAL ELECTRICAL FIXTURES  
AND LOCATIONS WITH THE ARCHITECT & OWNER

**ELECTRICAL LEGEND**

Φ	DUPLEX OUTLET TO BE ARC FAULT / TAMPER RESISTANT (TYP)
Φ <sub>GF</sub>	GROUND FAULT INTERRUPT OUTLET
Φ <sub>WP</sub>	WATER PROOF DUPLEX OUTLET
⊥	SINGLE POLE SWITCH
⊥	THREE WAY SWITCH
⊥	EXHAUST FAN / LIGHT COMBINATION
⊥	JUNCTION BOX - FIXTURE SELECTED BY OWNER
⊥	UNDER CABINET LOW VOLTAGE LIGHTING
⊥	NEGATIVE THERMO-TEMPERATURE SENSITIVE THERMOSTAT IN ROOM, AND CONTROLLER IN FINAL LOCATION WITH THE OWNER

**IMPORTANT SYMBOL LIST**

AI	SECTION DESIGNATION
AI	DETAIL OR ELEVATION

**LEGEND**

---	EXISTING WALL TO REMAIN
---	EXISTING WALL TO BE REMOVED
---	NEW WALL CONSTRUCTION

RENOVATIONS FOR THE  
**POCONO TOWNSHIP**  
**HERITAGE CENTER**  
TANNERSVILLE, PA. 18312

REVISIONS

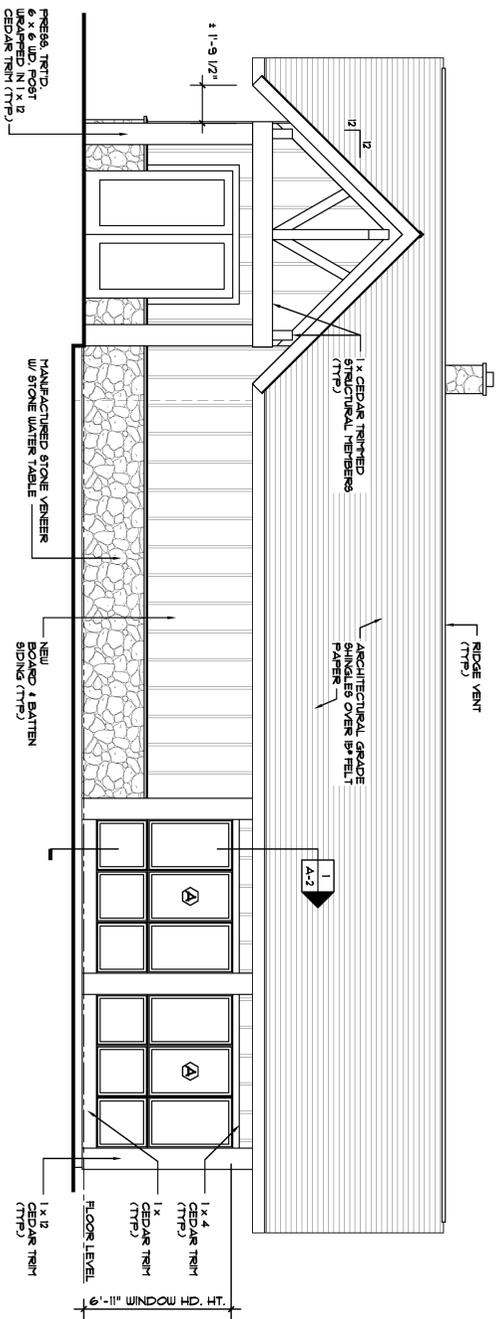
NO.	DATE	BY

SCALE:  
DRAWN BY: J. SCHOONOVER & W. VANDERHOOF  
CHECKED BY: J. SCHOONOVER & W. VANDERHOOF  
DATE: 01/19/2016  
SHEET: 4 OF 5

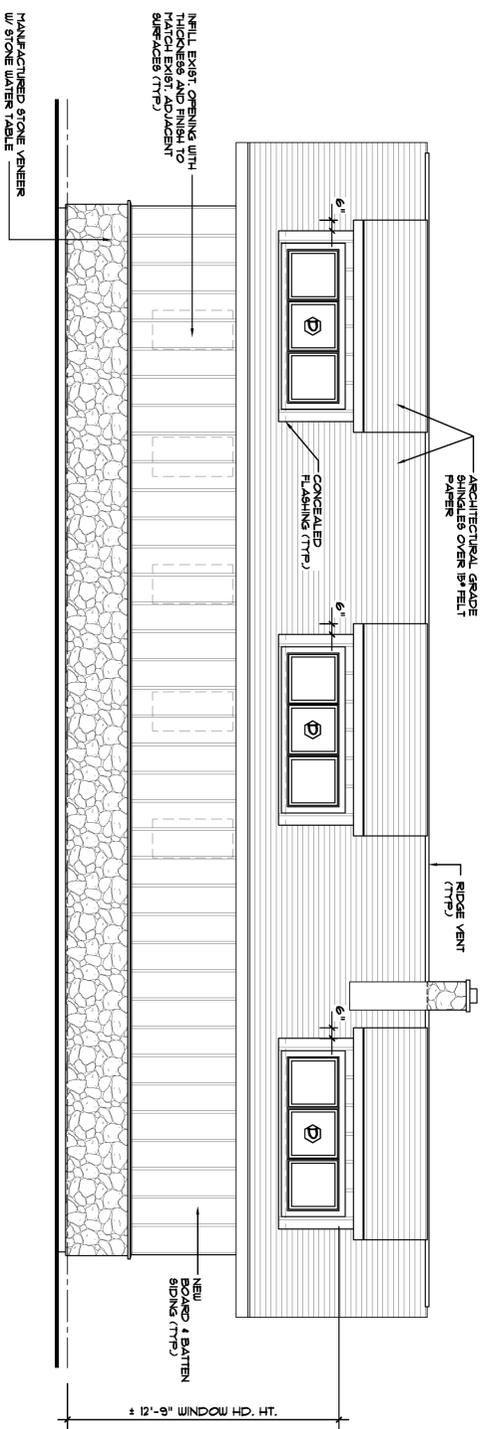
**SCHOONOVER & VANDERHOOF ARCHITECTS, LLC**  
39 NORTH COURTLAND STREET, EAST STROUDSBURG, PA 18301  
(570) 424-2980 FAX: (570) 424-2882

PLANS:  
SECTION, INTERIORS & WIN. SCHEDULE

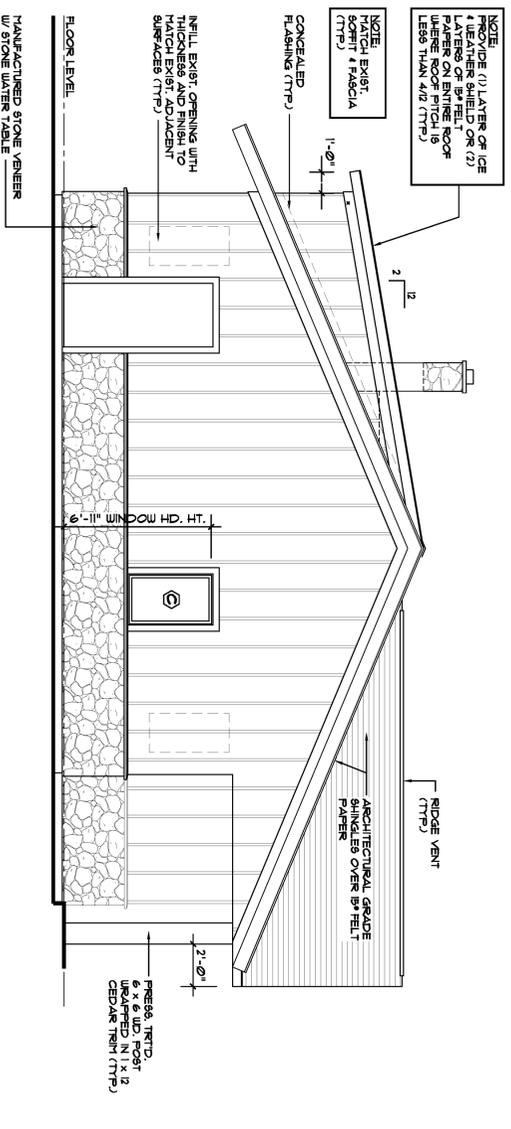
DATE: 01/19/2016  
SCALE: AS NOTED  
DRAWN: J. SCHOONOVER & W. VANDERHOOF  
SHEET: 4 OF 5



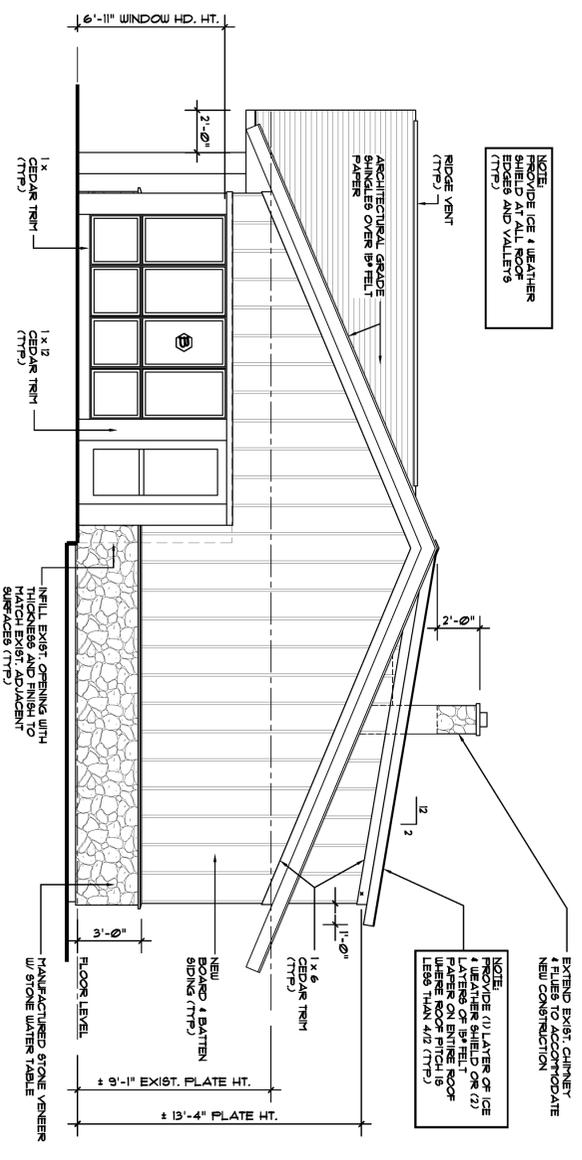
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

NOTE: PROVIDE (1) LAYER OF ICE & LEATHER SHIELD OR (2) PAPER ON ENTIRE ROOF WHERE ROOF PITCH IS LESS THAN 4/12 (TYP.)

NOTE: PROVIDE ICE & LEATHER SHIELD AT ALL ROOF SHEDS AND VALLEYS (TYP.)

NOTE: PROVIDE (1) LAYER OF ICE & LEATHER SHIELD OR (2) PAPER ON ENTIRE ROOF WHERE ROOF PITCH IS LESS THAN 4/12 (TYP.)

NOTE: PROVIDE ICE & LEATHER SHIELD AT ALL ROOF SHEDS AND VALLEYS (TYP.)

NOTE: PROVIDE (1) LAYER OF ICE & LEATHER SHIELD OR (2) PAPER ON ENTIRE ROOF WHERE ROOF PITCH IS LESS THAN 4/12 (TYP.)

EXTEND EXIST. CHIMNEY NEW CONSTRUCTION

IMPORTANT		SYMBOL LIST	
ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY CONTRACTOR AT THE SITE.			
1	SECTION DESIGNATION	1	DETAIL OR ELEVATION

**LEGEND**

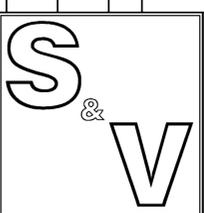
- EXISTING WALL TO RETAIN
- - - EXISTING WALL TO BE REMOVED
- ▨ NEW WALL CONSTRUCTION

RENOVATIONS FOR THE  
**POCONO TOWNSHIP**  
**HERITAGE CENTER**  
TANNERSVILLE, PA. 18312

REVISIONS	
NO.	DATE

SCALE:  
DRAWN BY: JON & SCHOONOVER & ARCHITECTS, LLC  
DATE: 01/19/2016  
SCALE: AS NOTED  
DATE: 01/19/2016  
SHEET: 5 OF 5

**SCHOONOVER & VANDERHOOF ARCHITECTS, LLC**  
39 NORTH COURTLAND STREET, EAST STROUDSBURG, PA 18301  
(570) 424-2980 FAX: (570) 424-2882



ELEVATIONS

# RENOVATIONS FOR THE POCCONO TOWNSHIP HERITAGE CENTER TANNERSVILLE, PA 18372

## DRAWING LIST:

- T1 TITLE SHEET (CODE INFORMATION / NOTES)
- T2 ANSI GUIDELINES
- A2 PLANS / SECTION / INTERIORS & WIN. SCHEDULE
- A3 ELEVATIONS

## CODE INFORMATION:

ALL CONSTRUCTION SHALL CONFORM TO BUILDING REQUIREMENTS  
THIS PROJECT HAS BEEN DESIGNED USING THE FOLLOWING GUIDELINES:  
INTERNATIONAL BUILDING CODE 2009  
INTERNATIONAL BUILDING CODE 2012 CHAPTER 11  
NATIONAL ELECTRICAL CODE 2008  
INTERNATIONAL PLUMBING CODE 2009  
INTERNATIONAL MECHANICAL CODE 2009

## STRUCTURAL CALCULATION LOADS:

LOCATION:	LIVE LOADS:	DEAD LOADS:
ROOFS	35 lbs. (ON THE ROOF)	10 lbs.
WALLS	5 lbs.	5 lbs.
CEILING	20 lbs.	10 lbs.
WIND SPEED	90 MILES PER HOUR (3 SECOND WIND GUST)	
GROUND SNOW LOAD CALCULATIONS FOR THIS PROJECT ARE BASED ON 50 LB/SQ. FT.		

## ENERGY COMPLIANCE:

THE THERMAL ENVELOPE REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE WILL BE MET THROUGH DEMONSTRATED PRACTICE:

- 1) ROOF / CEILING: = (R-39) INSULATION (ASSEMBLY)
- 2) WALL: = (R-21) INSULATION (ALL EXTERIOR WALLS) (ASSEMBLY)

## AREA CALCULATIONS:

HABITABLE AREA INTERIOR:	
VESTIBULE	213 SQ. FT.
MAIN WAITING RM	588 SQ. FT.
CONFERENCE ROOM	111 SQ. FT.
RESTROOMS	200 SQ. FT.
ARCHIVE RM	124 SQ. FT.
RESTROOMS	1444 SQ. FT.
TOTAL:	1487 SQ. FT.

SECONDARY AREAS EXTERIOR:	
COVERED ENTRY:	80 SQ. FT.
TOTAL:	80 SQ. FT.
TOTAL BUILDING AREA:	1567 SQ. FT.

## GENERAL NOTES

- DIVISION 1 - GENERAL REQUIREMENTS**
- ALL DIVISIONS SHALL BE TAKEN TO FACE OF THE STUD.
  - THE WORK OF THE CONTRACTOR SHALL INCLUDE ALL LABOR AND MATERIALS FOR ALL TRADES CONCERNED FOR COMPLETING THE PROJECT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
  - THE CONTRACTOR SHALL PROTECT AND FURNISH ALL PERMITS.
  - THE CONTRACTOR SHALL FURNISH LARGE HERBER WITH THE CONTRACT CONDITIONS AFFECTING THE WORK PRIOR TO SUBMISSION OF THE BID PROPOSAL.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEANING UP OF THE WORK AREA. THE AREA SHALL BE CLEANED EACH DAY AND TRASH SHALL BE DISPOSED OF AT THE END OF EACH DAY. AT THE END OF THE PROJECT, THE CONTRACTOR SHALL CLEAN THE WORK AREA THOROUGHLY.
  - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFETY BARRICADES AND OBSTRUCTIONS AT THE WORK AREA.

- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF ACCEPTANCE BY THE OWNER.
  - THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY WEATHERPROOFING TO PROTECT THE FACILITY DURING THE CONSTRUCTION PROCESS.
- DIVISION 2 - SITE WORK**
1. THE CONTRACTOR SHALL FURNISH ALL LABOR SERVICES, MATERIALS, AND EQUIPMENT NECESSARY TO DO ALL THE WORK AND OTHER RELATED WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.

- THE CONTRACTOR SHALL EXCAVATE FOR ALL FOUNDATIONS AND FOOTINGS FOR FOOTINGS BE LESS THAN 4'-0" BELOW FINISHED GRADE AND AT LEAST 1'-0" INTO UNDISTURBED SOIL, UNLESS DEPTH MAY BE GREATER.
  - FOUNDATIONS SHALL BE PLACED ON UNDISTURBED EARTH, CAPABLE OF SUPPORTING A MINIMUM OF 3,000 POUNDS PER SQUARE FOOT.
- DIVISION 3 - CONCRETE**
- THE CONTRACTOR SHALL FURNISH ALL LABOR SERVICES, MATERIALS, AND EQUIPMENT NECESSARY TO DO ALL PLAIN AND REINFORCED CONCRETE WORK AS REQUIRED BY THE DRAWINGS AND SPECIFICATIONS.
  - THE CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH OF NOT LESS THAN 3,000 POUNDS PER SQUARE INCH AT 28 DAYS.
  - THE CONTRACTOR MUST POUR ALL SIDES OF THE FOOTING AND CONCRETE SLABS. FOOTINGS SHALL BE FORMED WITH WOOD OR METAL FORMS, NO FORMS SHALL BE PLACED THROUGH THE USE OF THESE FORMS.

- DIVISION 4 - MASONRY**
- THE CONTRACTOR SHALL FURNISH ALL LABOR SERVICES, MATERIALS, AND EQUIPMENT NECESSARY TO DO ALL MASONRY WORK AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN.
  - CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD BEARING UNITS. UNITS SHALL HAVE AN AVERAGE COMPRESSIVE STRENGTH OF NOT LESS THAN 1,000 POUNDS PER SQUARE INCH. CONCRETE MASONRY UNITS SHALL BE TYPE 1 AND PERMITTED TO BE USED IN EXTERIOR WALLS. UNITS SHALL BE 16" SQUARE INCH, INSTALLED WITH JOINT REINFORCEMENT EVERY OTHER COURSE.
  - MASONRY HEIGHT OF UNITS ABOVE FULL ON UNIFORMLY REINFORCED CONCRETE MASONRY UNIT FOUNDATION WALLS, WHERE JOINT REINFORCEMENT SHALL NOT BE CONSIDERED AS REINFORCEMENT.
    - A. 8" CONCRETE MASONRY UNIT - 4'-0"
    - B. 8" CONCRETE MASONRY UNIT - 3'-0"
    - C. 8" CONCRETE MASONRY UNIT - 6'-0"
  - SUPPORT AND INSTALL ALL RELATED MASONRY ITEMS WHICH SHALL INCLUDE, BUT NOT BE LIMITED TO:
    - A. 1/2" DIAMETER ANCHOR BOLTS AT 6'-0" ON CENTER MAX SPACED 3" MINIMUM INTO SOLID GROUT MINIMUM OF (2) PER SECTION OF PLATE 0' FROM CORNERS.
    - B. MASONRY LINTELS
    - C. CURVE REINFORCEMENT FOR CURVE WALLS SHALL BE STEEL GALVANIZED ANCHOR BOLTS WITH WEDGES AND NUTS PLACED IN EVERY SECOND BED JOINT. THE REINFORCEMENT SHALL BE AS MANUFACTURED BY DURE-C-CELL OR EQUIVALENT UNITS.
    - D. FILL TOP (2) COURSES OF CONCRETE MASONRY UNIT. SOLID WITH HOOKS AT ALL ANCHOR BOLTS.
  - PROTECT MASONRY WORK FROM PHYSICAL DAMAGE OR REDUCED STRENGTH WHICH COULD BE CAUSED BY Frost Freezing Actions, OR LOW TEMPERATURES.
  - MANUFACTURED STONE SHALL BE CULTURED STONE OR EQUIVALENT.

- DIVISION 5 - METALS**
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL ALL STRUCTURAL METAL WORK AND MISCELLANEOUS METAL WORK.
  - ALL STRUCTURAL STEEL SHALL BE AT LEAST A36. STEEL COMPLETE WITH A BOLT TO COIL CENTER AND NOT ALL STRUCTURAL STEEL SHALL BE BOLTED. MINIMUM AMOUNT OF ANCHOR BOLTS REQUIRED FOR COLUMNS AND BEAMS SHALL BE (2) 3/4" DIAMETER ANCHOR BOLTS.
  - PROVIDE SUPPORT UNDER ALL BEARING POINTS.

- DIVISION 6 - CARPENTRY AND MILLWORK**
- THE CONTRACTOR SHALL FURNISH ALL LABOR SERVICES, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL ALL CARPENTRY AND MILLWORK AS SPECIFIED HEREIN AND INDICATED ON THE DRAWINGS.
  - ALL FINISH LUMBER SHALL BE DOWLED AS THE SPECIES-FINE-HR. OR APPROVED ALTERNATE WITH A MINIMUM FIBER STRENGTH IN BENDING OF 900 POUNDS PER SQUARE INCH.
  - ALL NEW WOOD STUD WALLS SHALL BE OF 2" X 4" WOOD STUD CONSTRUCTION WITH 16" ON CENTER SPACING FOR THE DESIGNATED AREAS FOR THEIR USE.
  - PROVIDE 1/8 GAUGE JOIST HANGERS (IE "SPRINK" 100" OR APPROVED EQUAL) AT ALL JOIST BEARING LOCATIONS, IN ADDITION TO JOE KILLING.
  - ALL ROOF SHEATHING SHALL BE APA SPAN RATED 3/16" PANELS AND APA RATED SHEATHING EXPOSURE 1.
  - ALL FLOOR SHEATHING SHALL BE APA SPAN RATED 3/16" PANELS AND APA RATED SHEATHING EXPOSURE 1.
  - INSTALL UNDERLAYER GRADE PLYWOOD ON TOP OF 3/4" SUBFLOOR (IF RECOMMENDED BY THE MANUFACTURER WHEN THE FINISHED FLOOR IS CARPET, SHEET VINYL, OR VINYL COMPOSITION TILE.
  - ALL UNFINISHED VERNEER LUMBER (L.V.) SHALL MEET OR EXCEED THE FOLLOWING MINIMUM VALUES:
    - A. P.V. - 2800 P.S.I.
    - B. P.V. - 2600 P.S.I.
    - C. E. - 2000 P.S.I.

- ALL HEADERS SHALL BE (2) 2" X 12" BOX BEAM CONSTRUCTION UNLESS NOTED OTHERWISE. THE HEADERS IN EXTERIOR WALLS SHALL BE INSULATED UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WOOD DECK COMPONENTS SHALL BE PRESURE TREATED UNLESS OTHERWISE NOTED.
- ALL WOOD BEAMS AND COLLARS SHALL BE SECURED TO BEARING SURFACES WITH METAL FASTENERS, CONNECTIONS, SEALS, ETC. THAT ARE ANCHORED TO THE FOUNDATION WALLS OR BEARING SURFACES.
- ALL PLATES ON TOP OF FOUNDATIONS SHALL BE PRESURE TREATED LUMBER.
- PROVIDE SUPPORT UNDER ALL BEARING POINTS.
- DOUBLE ALL FLOOR JOISTS UNDER PARALLEL WALLS UNLESS OTHERWISE NOTED.
- ALL TREATED WOOD SHALL CORRELATE WITH THE LATEST EDITION OF THE IRC OR IBC STANDARDS FOR TREATED WOOD. ALL FASTENERS SUCH AS NAILS OR BOLTS SHALL BE OF THE TYPE SPECIFICALLY DESIGNATED FOR USE WITH TREATED WOOD.

- DIVISION 7 - ROOFING PROTECTION**
- THE CONTRACTOR SHALL FURNISH ALL LABOR SERVICES, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL ALL ROOFING, SIDING AND PROTECTIVE PROTECTION WORK AS SPECIFIED HEREIN AND INDICATED ON THE DRAWINGS.
  - IT IS THE INTENTION TO INSTALL GUTTERS AND DOWN SPOUTS AT THE ROOF EDGE. THE FINISH SIZE FOR GUTTERS SHALL BE 1/2" K STYLE GUTTERS. GUTTERS SHALL BE INSTALLED WITH 1/2" OVERLAP AND 1/2" FROM THE CONCRETE SPILL BLOCKS AT THE DISCHARGE END OF ALL DOWNSPOUTS.
  - INSTALL DOWNSPOUT AS MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
  - INSULATION:
    - A. RIGID INSULATION BELOW GRADE AND UNDERLAYS SHALL BE TONGUE AND GROOVE STRIPBOARD BY AS MANUFACTURED BY DOW CHEMICAL OR APPROVED ALTERNATE.
    - B. FIBERGLASS INSULATION SHALL BE KEAFAT PAPER FACED INSULATION INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

- DIVISION 8 - DOORS, WINDOWS, AND GLAZING**
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, SERVICES, AND EQUIPMENT NECESSARY TO DO ALL WORK RELATED TO DOORS, WINDOWS AND GLAZING AS SPECIFIED HEREIN AND INDICATED ON THE DRAWINGS.
  - ALL WINDOWS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
  - ALL WINDOWS SHALL BE PROVIDED W/ 1" INSULATED GLASS

- DIVISION 9 - FINISHES**
- THE CONTRACTOR SHALL FURNISH ALL LABOR SERVICES, MATERIALS, AND EQUIPMENT NECESSARY TO DO ALL PAINTING, STAINING, GYP-SURF BOARD, FINISHING OR INDICATED ON THE DRAWINGS.
  - PAINTING AND STAINING:
    - A. INTERIOR:
      - ALL GYP-SURF BOARD TO BE PAINTED SHALL RECEIVE ONE COAT PRIMER AND TWO COATS OF INTERIOR PAINT COORDINATE THE FINISH OF THE PAINT WITH THE OWNER.
      - ALL GYP-SURF BOARD WITH A WALL COVERING SHALL RECEIVE ONE (1) COAT OF PRIMER AND ONE (1) COAT OF FINISH AS RECOMMENDED BY THE WALL COVERING MANUFACTURER.
      - ALL WOODWORK TO BE PAINTED SHALL RECEIVE ONE (1) COAT OF PRIMER AND TWO (2) COATS OF INTERIOR PAINT WITH A BEH-N-DL-088 FINISH.
      - ALL WOODWORK TO BE STAINED SHALL RECEIVE ONE (1) COAT OF STAIN, ONE (1) COAT OF SEALER AND (2) COATS OF URETHANE VARNISH.
      - ALL EXPOSED METAL TO BE PAINTED SHALL RECEIVE ONE (1) COAT OF PRIMER (IN ADDITION TO ANY FACTORY PRIMER) AND TWO (2) COATS OF INTERIOR PAINT WITH A BEH-N-DL-088 FINISH.
    - B. EXTERIOR:
      - ALL EXPOSED METAL TO BE PAINTED SHALL RECEIVE ONE (1) COAT OF PRIMER AND TWO (2) COATS OF EXTERIOR PAINT WITH A BEH-N-DL-088 FINISH.
      - ALL WOODWORK TO BE PAINTED SHALL RECEIVE ONE (1) COAT OF PRIMER AND TWO (2) COATS OF EXTERIOR PAINT WITH A BEH-N-DL-088 FINISH.
      - ALL WOODWORK TO BE STAINED SHALL RECEIVE TWO (2) COATS OF SOLID COLOR STAIN OR SEMI-COLOR STAIN COORDINATE WITH THE OWNER.
      - ALL CERAMIC TILE SHALL BE INSTALLED AS PER MANUFACTURER'S AND THE TILE COUNCIL OF AMERICA.
      - ALL WALL COVERING SHEET VINYL AND CERAMIC TILE SHALL BE COORDINATED WITH THE OWNER.
      - ALL GYP-SURF BOARD SHALL BE AS MANUFACTURED BY THE UNITED STATES GYP-SURF BOARD COMPANY AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ALL GYP-SURF BOARD SHALL BE HILDED AND HOLD RESISTANT TYPE.

- DIVISION 9 - PLUMBING, HEATING, VENTILATING AND AIR CONDITIONING**
- ALL PLUMBING WORK SHALL CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL PLUMBING CODE.
  - ALL HEATING, VENTILATING AND AIR CONDITIONING WORK SHALL CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE.
- DIVISION 10 - ELECTRICAL**
- ALL ELECTRICAL SHALL CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL ELECTRICAL CODE.

- DIVISION 11 - FINISHES**
- THE CONTRACTOR SHALL FURNISH ALL LABOR SERVICES, MATERIALS, AND EQUIPMENT NECESSARY TO DO ALL PAINTING, STAINING, GYP-SURF BOARD, FINISHING OR INDICATED ON THE DRAWINGS.
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NO.	DATE	ITEM

SCALE:

**JANIS & SCHOONOVER & VANDERHOOF ARCHITECTS, LLC**

1000 N. 10TH STREET, SUITE 100  
TOWNSHIP OF POCCONO, PA 18372

PHONE: (610) 461-4587  
FAX: (610) 461-4587

WAVE IN WATER

1000 N. 10TH STREET, SUITE 100  
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**SCHOONOVER & VANDERHOOF ARCHITECTS, LLC**

39 NORTH COURTLAND STREET, EAST STROUDSBURG, PA 18301

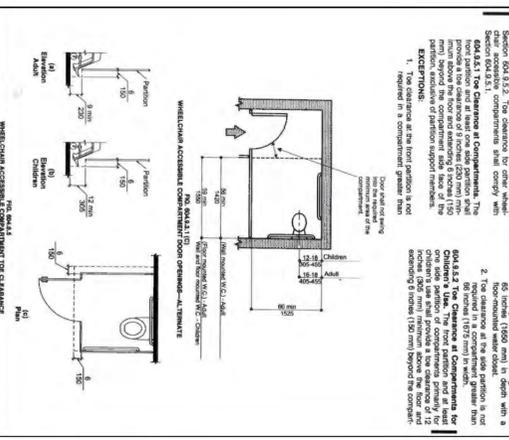
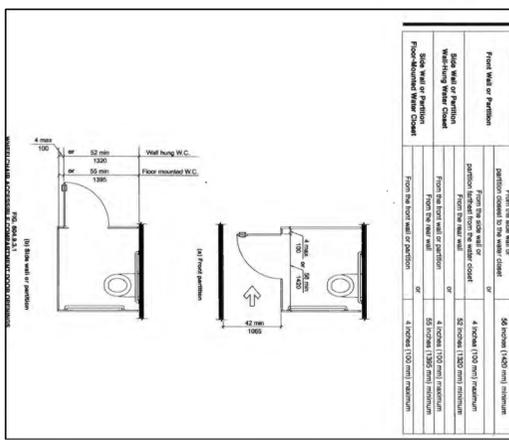
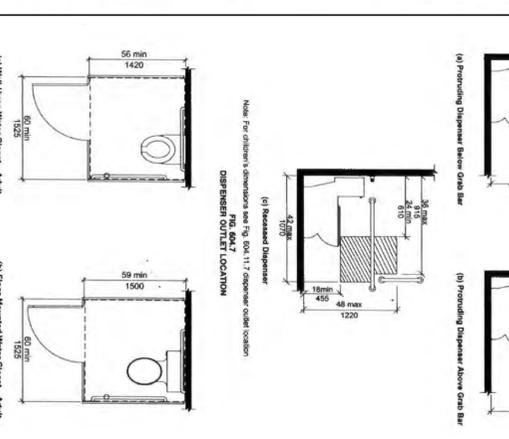
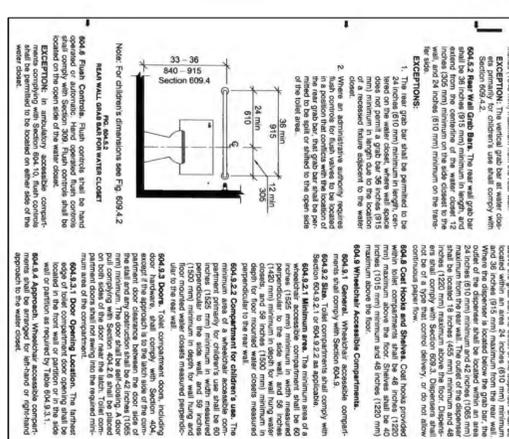
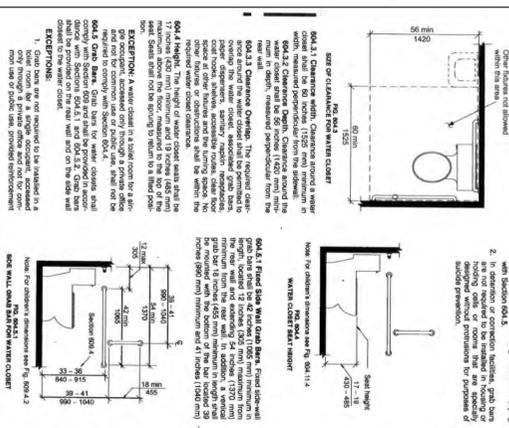
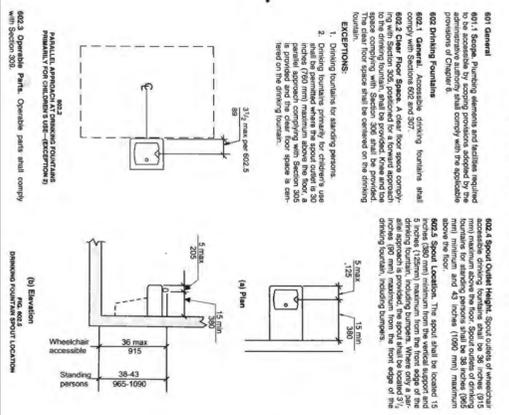
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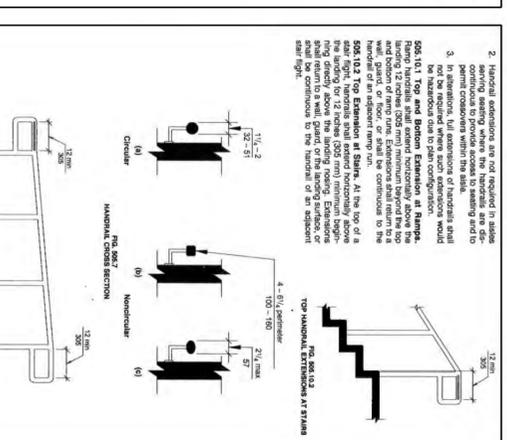
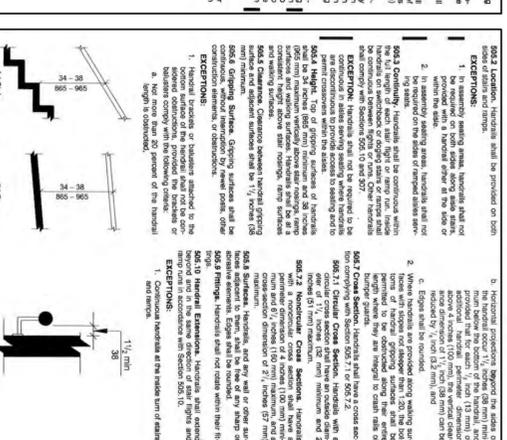
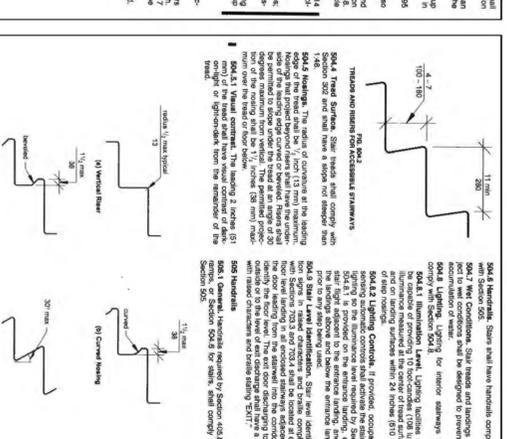
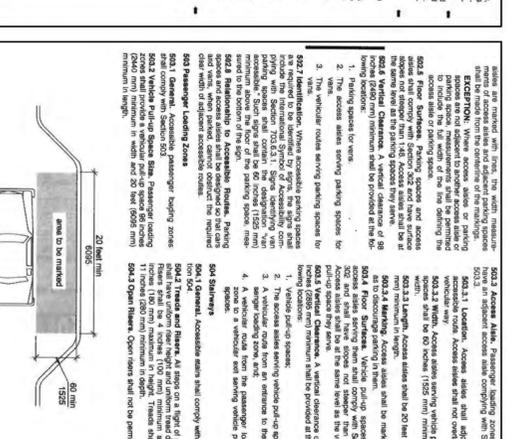
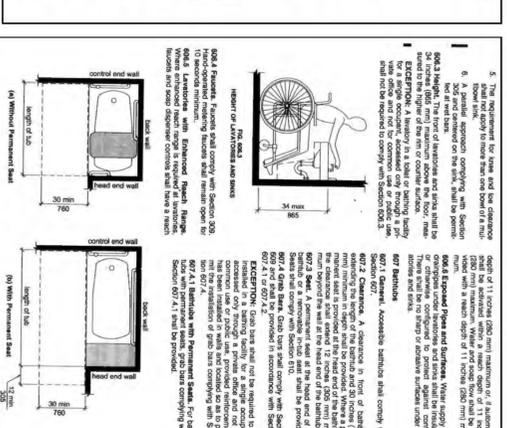
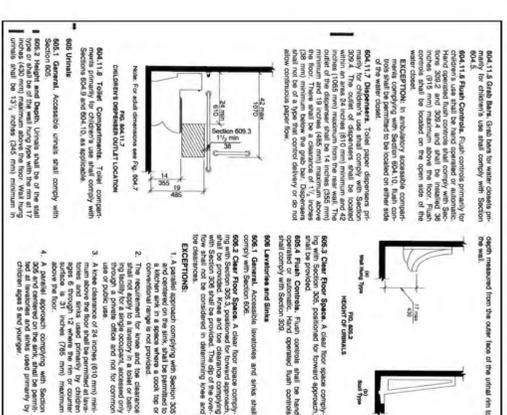
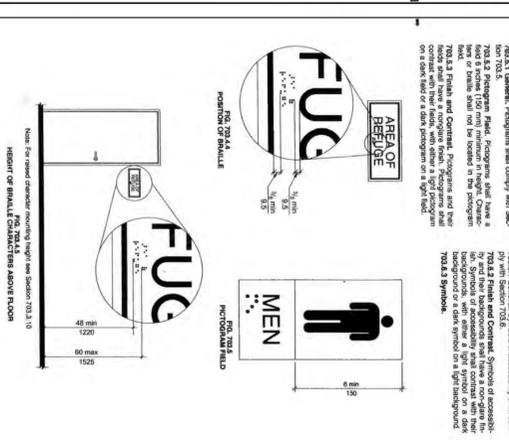
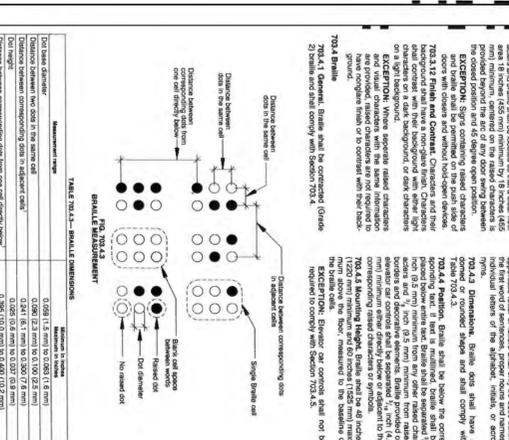
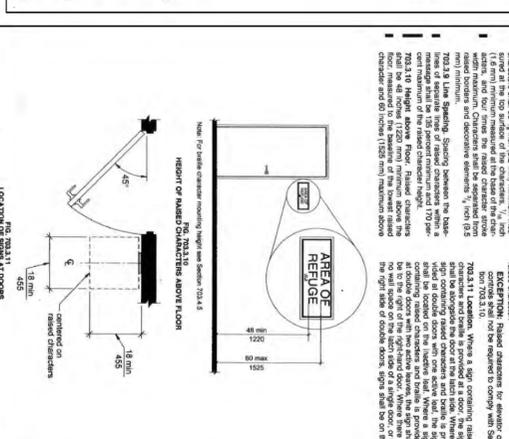
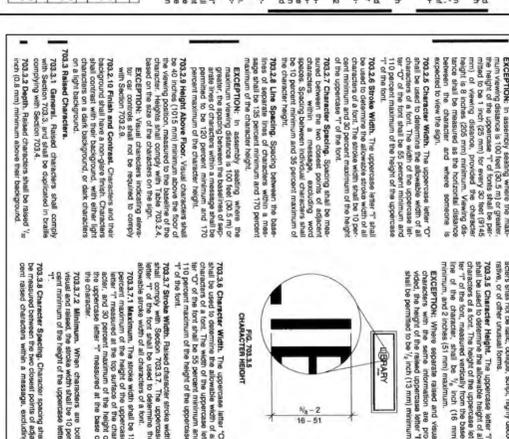
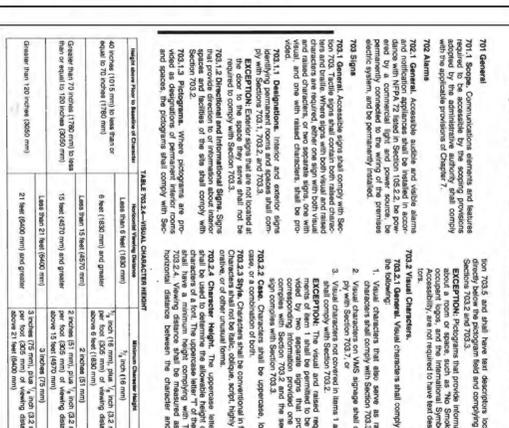
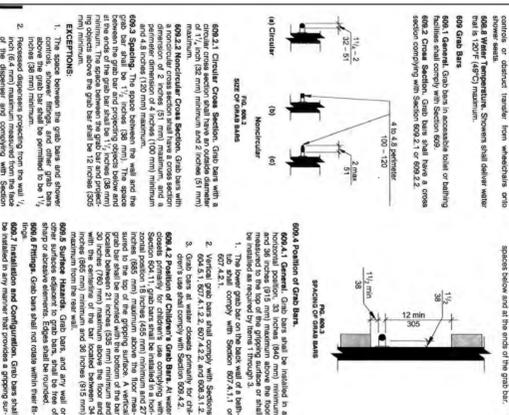
TITLE SHEET

DATE	BY	SCALE	SHEET
01/19/2016	AS NOTED	5'-08 1/8" = 1'	1 OF 5

## Chapter 6. Plumbing Elements and Facilities



## Chapter 7. Communication Elements and Features



REVISIONS

NO.	DATE	BY

REVISIONS

NO.	DATE	BY

REVISIONS

NO.	DATE	BY

ANSI  
GUIDELINES

SCHOONOVER & VANDERHOOF ARCHITECTS, LLC

39 NORTH COURTLAND STREET, EAST STROUDSBURG, PA 18301  
(570) 424-2980 FAX: (570) 424-2882

DWG NO. B-08-01  
SCALE AS NOTED  
DATE 01/09/2016  
SHEET 2 OF 5

**LUCERNE™ WALL-HUNG LAVATORY**

- Wall-hung sink
- Vitreous china
- Front overflow
- D-shaped bowl
- Self-draining deck area with contoured back and side splash shields
- Faucet ledge
- Compliant with Texas accessibility standard (TAS) for children age group 13 and up

**Faucet holes on 203mm (8") centers (Illus.):**

- 0356.028** For exposed bracket support  
Shown with 4801.862 Amarelis Heritage faucet with Triune Cross handles (not included)
- 0356.015** For wall hanger (included) or concealed arms support
- 0356.915** For wall hanger (included) or concealed arms support
  - Less overflow

**Faucet holes on 102mm (4") centers:**

- 0355.027** For exposed bracket support
- 0355.012** For wall hanger (included) or concealed arms support
- 0355.912** For wall hanger (included) or concealed arms support
  - Less overflow

**Single center faucet hole (Illus.):**

- 0356.041** For exposed bracket support  
Shown with 1340.000 metering faucet (not included)
- 0356.421** For wall hanger (included) or concealed arms support
- 0356.921** For wall hanger (included) or concealed arms support
  - Less overflow
- 0356.439** For wall hanger (included) or concealed arms support
  - Single faucet hole on right
- 0356.066** For exposed bracket support
  - Single faucet hole on right

**Nominal Dimensions:**

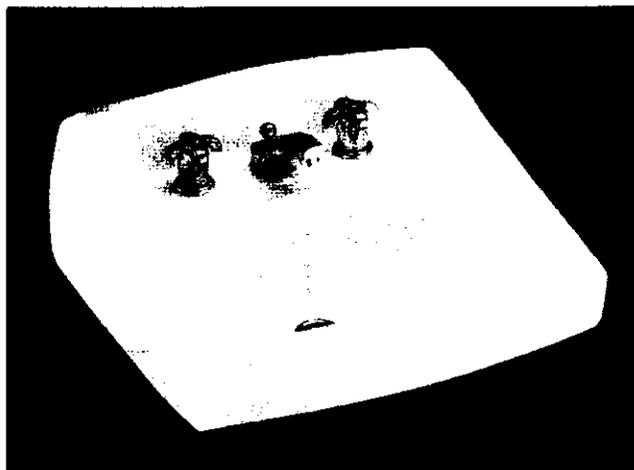
521 x 464mm  
(20-1/2" x 18-1/4")

**Bowl sizes:**

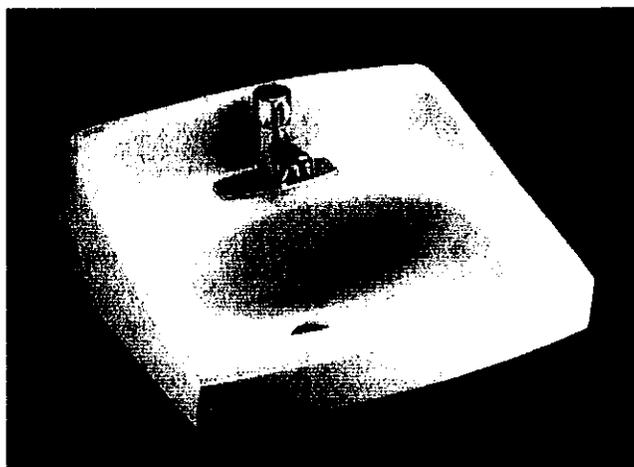
381mm (15") wide  
254mm (10") front to back  
165mm (6-1/2") deep

**Compliance Certifications -**

- Meets or Exceeds the Following Specifications:**
- ASME A112.19.2 / CSA B45.1 for Vitreous China Fixtures



**0356.028**



**0356.041**

SEE FOLLOWING PAGES FOR ROUGHING-IN DIMENSIONS

**To Be Specified:**

- Color: ~~White~~
- Faucet\*:
- Faucet Finish:
- Supplies:
- 1-1/4" Trap:
- Nipple:
- Bracket Support (by others):
- Concealed Arms Support (by others):

\* See faucet section for additional models available

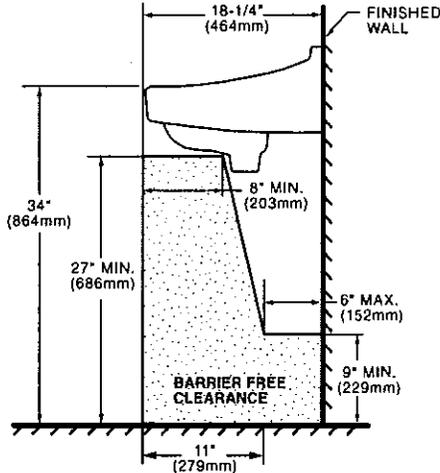
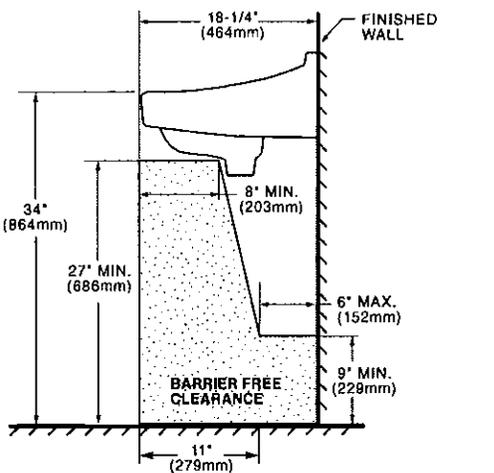
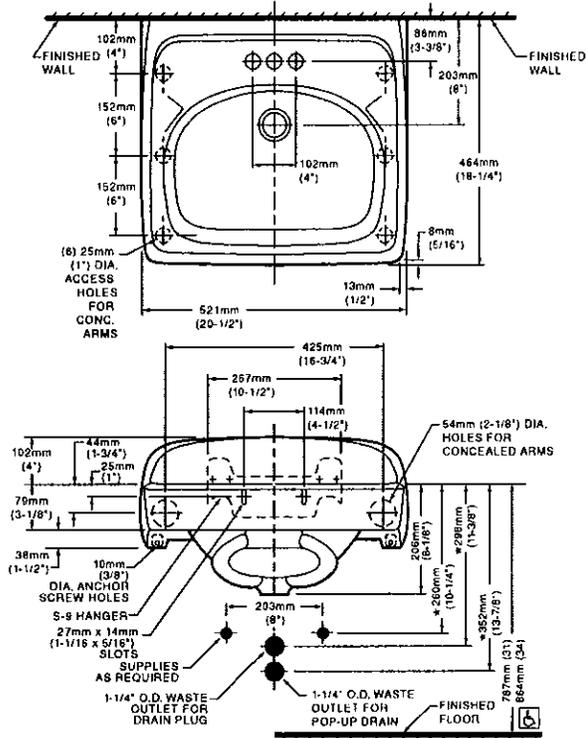
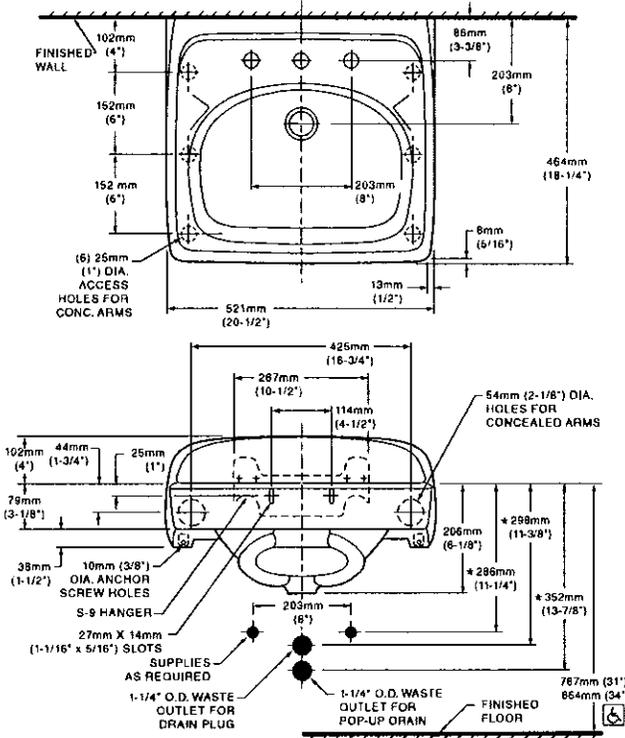


MEETS THE AMERICANS WITH DISABILITIES ACT GUIDELINES AND ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES - CHECK LOCAL CODES.  
Top of front rim mounted 864mm (34") from finished floor.

BARRIER FREE

- 0356.028** 8" CTRS FOR EXPOSED BRACKET SUPPORT
- 0356.015** 8" CTRS FOR WALL HANGER OR CONCEALED ARMS
- 0356.915** LESS OVERFLOW

- 0355.021** 4" CTRS FOR EXPOSED BRACKET SUPPORT
- 0355.012** 4" CTRS FOR WALL HANGER OR CONCEALED ARMS
- 0355.912** LESS OVERFLOW



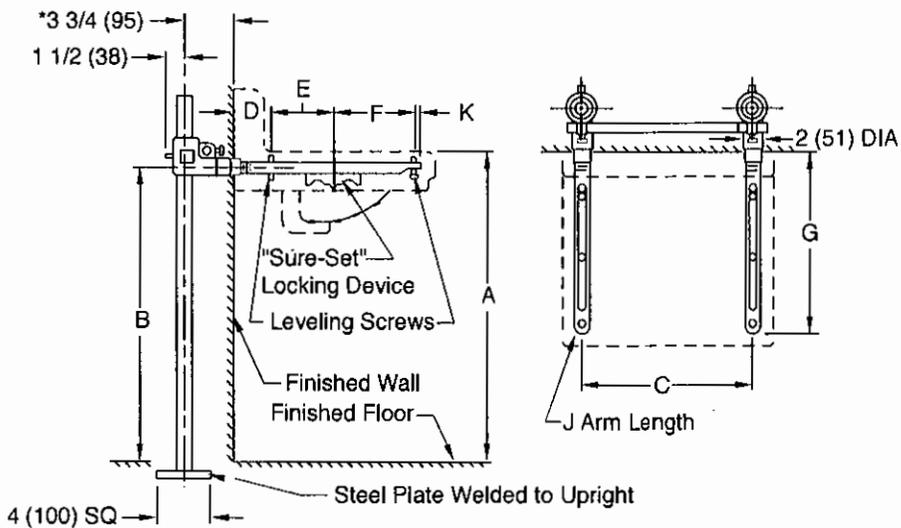
**NOTES:**  
 \* DIMENSIONS SHOWN FOR LOCATION OF SUPPLIES AND "P" TRAP ARE SUGGESTED.  
 PROVIDE SUITABLE REINFORCEMENT FOR ALL WALL SUPPORTS.  
 FITTINGS NOT INCLUDED AND MUST BE ORDERED SEPARATELY.  
 CONCEALED ARM SUPPORT AS REQUIRED TO BE FURNISHED BY OTHERS.

**IMPORTANT:** Dimensions of fixtures are nominal and may vary within the range of tolerances established by ANSI Standard A112.19.2. These measurements are subject to change or cancellation. No responsibility is assumed for use of superseded or voided pages.

LAVATORY DESIGNED TO MEET ADA HANDICAPPED GUIDELINES WITH MOUNTING HEIGHT SET AT 864MM (34") ABOVE FINISHED FLOOR.

**LAVATORY SUPPORTS  
 WITH CONCEALED ARMS**

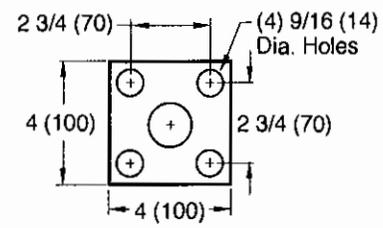
**FLOOR MOUNTED WITH "PRO-SET" UPRIGHTS**



**Fig. 0700 . . . FOR HIGH BACK LAVATORIES (shown)**

**NOTE:** The rough-in dimensions listed on this drawing are based on current information available to Jay R. Smith by the fixture manufacturers. We recommend that you verify these dimensions with the fixture manufacturer. We will not accept responsibility for rough-in dimension changes by the fixture manufacturer.

**NOTE:** Dimensions shown in parentheses are in millimeters.



**BASE DETAIL**

**ROUGHING-IN TABLE**

FIXTURE MFG.	NAME	NUMBER	SIZE	A	B	C	D	E	F	G	J	K
AM. STD.	LUCERNE	0355.012	20 (510) x 18 (455)	31 (785)	29 1/4 (745)	16 3/4 (425)	4 (100)	6 (150)	6 (150)	16 1/2 (420)	19 (485)	1/2 (13)
AM. STD.	LUCERNE	0356.015	20 (510) x 18 (455)	31 (785)	29 1/4 (745)	16 3/4 (425)	4 (100)	6 (150)	6 (150)	16 1/2 (420)	19 (485)	1/2 (13)
AM. STD.	LUCERNE	0356.421	20 (510) x 18 (455)	31 (785)	29 1/4 (745)	16 3/4 (425)	4 (100)	6 (150)	6 (150)	16 1/2 (420)	19 (485)	1/2 (13)
AM. STD.	LUCERNE	0356.439	20 (510) x 18 (455)	31 (785)	29 1/4 (745)	16 3/4 (425)	4 (100)	6 (150)	6 (150)	16 1/2 (420)	19 (485)	1/2 (13)
AM. STD.	MURRO	0954.000	22 (560) x 21 (535)	34 (865)	32 3/8 (823)	16 3/4 (425)	4 (100)	6 (150)	4 (100)	14 1/2 (370)	17M (430)	1/2 (13)
AM. STD.	MURRO	0955.000	22 (560) x 21 (535)	34 (865)	32 3/8 (823)	16 3/4 (425)	4 (100)	6 (150)	4 (100)	14 1/2 (370)	17M (430)	1/2 (13)
AM. STD.	MURRO	0958.000	22 (560) x 21 (535)	34 (865)	32 3/8 (823)	16 3/4 (425)	4 (100)	6 (150)	4 (100)	14 1/2 (370)	17M (430)	1/2 (13)
CRANE	HARWICH	1-412	20 (510) x 18 (455)	31 (785)	29 1/4 (745)	16 1/4 (415)	4 (100)	5 5/8 (143)	4 3/8 (111)	16 1/2 (420)	18 (455)	2 1/2 (64)
ELJER	DELWYN	051-1634, 1838	18 (455) x 15 (380)	31 (785)	29 1/4 (745)	15 1/2 (395)	3 (76)	5 (125)	4 3/4 (120)	13 1/2 (345)	17M (430)	3/4 (19)
ELJER	SIGNATURE	051-2101, 4, 8	20 (510) x 18 (455)	34 (865)	32 (815)	17 (430)	4 (100)	5 5/8 (143)	5 5/8 (143)	15 3/4 (400)	18 (455)	1/2 (13)
KOHLER	GREENWICH	K-2030, 1, 2, 4, 6	20 (510) x 18 (455)	31 (785)	29 (735)	17 1/4 (440)	3 1/4 (83)	5 1/4 (135)	5 1/4 (135)	14 1/4 (360)	16 (405)	1/2 (13)
KOHLER	SOHO	K-2053, 4	20 (510) x 18 (455)	31 (785)	29 1/4 (745)	16 1/2 (420)	3 1/4 (83)	5 1/4 (135)	5 1/4 (135)	14 1/4 (360)	17M (430)	1/2 (13)
U. RUNDLE	NEW CAMDEN	4648, 9	20 (510) x 18 (455)	31 (785)	29 3/8 (746)	16 1/4 (415)	4 1/2 (115)	2 1/2 (64)	4 (345)	13 1/2 (345)	16 (405)	2 1/2 (64)

**NOTE:** \*This dimension can be increased when fixture support is to be installed behind the wall. (Specify when required and wall thickness).

DRAWING NUMBER S0700  
 SIZE A  
 SCALE: NONE  
 DATE: 2-20-85  
 APPROVED BY: SJM  
 CHECKED BY: SJM  
 DRAWN BY: CR  
 FIGURE NUMBER 0700  
 DIMENSIONS ARE SUBJECT TO MANUFACTURERS TOLERANCE AND CHANGE WITHOUT NOTICE  
 WE CAN ASSUME NO RESPONSIBILITY FOR USE OF SUPERSEDED OR VOID DATA

REV.	DATE	DESCRIPTION	BY	CKD. BY	WEIGHT POUNDS	VOLUME CUBIC FEET	FIGURE NUMBER
	09/27/10	Updated Drawing	JJ	CL			0700
	11/23/05	Revised Roughing-In Table	JJ	CL			
	03/19/04	Revised Roughing-In Table	JJ	CL			

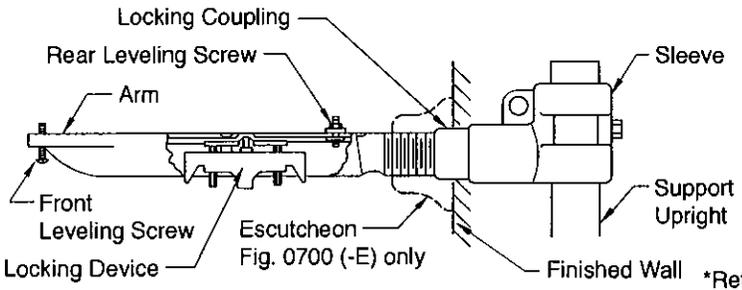
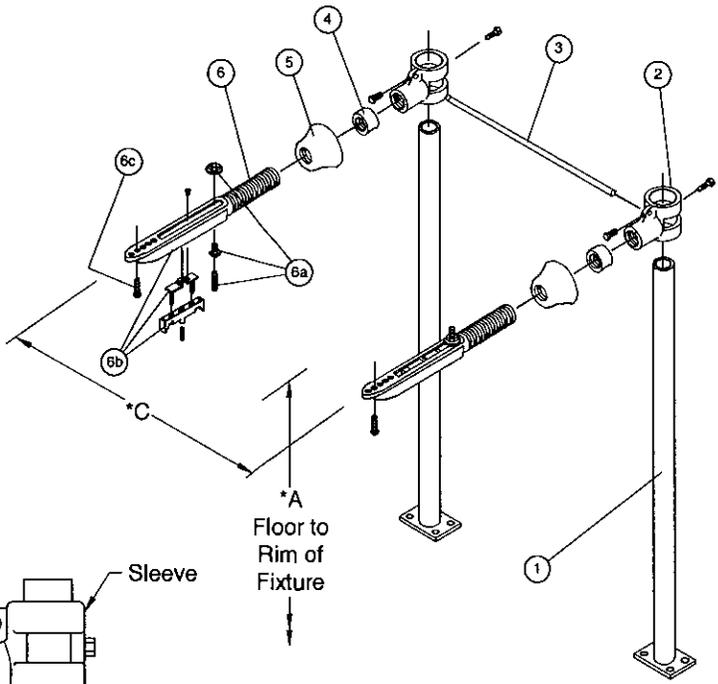
# INSTALLATION INSTRUCTIONS FOR CONCEALED ARM CARRIERS

DRAWING NUMBER: S0700 INS  
 SIZE: A  
 SCALE: NONE  
 DATE: 8-8-85  
 APPROVED BY: KG  
 CHECKED BY: CR  
 DRAWN BY: VGD  
 DIMENSIONS ARE SUBJECT TO MANUFACTURERS TOLERANCE AND CHANGE WITHOUT NOTICE

**BEFORE** starting rough-in be certain you:  
 a) know correct fixture number and name  
 b) have a copy of Smith submittal (rough-in) drawing with dimensions for fixture to be used.

**NOTE:** The rough-in dimensions listed on this drawing are based on current information available to Jay R. Smith by the fixture manufacturers. We recommend that you verify these dimensions with the fixture manufacturer. We will not accept responsibility for rough-in dimension changes by the fixture manufacturer.

PART	QTY	DESCRIPTION
1	2	Upright (w/welded base)
2	2	Sleeve Assembly
3	1	Alignment Bar
4	2	Locking Coupling
5	2	Escutcheon Fig. 0700 (-E)
6	2	Arm Assembly
6a	2	Rear Leveling Screw Assy
6b	2	Locking Device
6c	2	Front Leveling Screw



\*Refer to Smith submittal drawing for these dimensions.

## INSTALLATION INSTRUCTIONS FOR CONCEALED ARM CARRIERS

- Uprights (Part #1) must be spaced according to the "C" dimension (shown on the submittal drawing). Uprights should not be bolted rigidly to the floor at this time.
- Position sleeves (Part #2) by using the "B" dimension (shown on the submittal drawing). Secure to uprights with 5/16 (8)-18 hex head bolts (furnished) on the back of the sleeve.
- Slide alignment bar (Part #3) into the sleeves. Recheck the "C" dimension at the center of the uprights. Secure the alignment bar with 5/16 (8) hex head bolts (furnished). Uprights should now be bolted securely to the floor. Uprights must be plumb: if necessary, shim to compensate for uneven floors.
- Thread escutcheon (Part #5), Fig. 0700 (-E) only onto arm (Part #6). Thread locking coupling (Part #4) onto arm. Thread arms into sleeves (Part #2) to dimension "G" (shown on the submittal drawing). Lock arms in place by tightening locking coupling (Part #4). Recheck "C" dimension at the end of the arms.
- Rear leveling screw assemblies (Part #6a) must be set according to the "D" dimension (shown on the submittal drawing). Position the locking devices (Part #6b) to the "E" dimension (shown on the submittal drawing). Install the front leveling screws (Part #6c) to the "E" dimension (shown on the submittal drawing).
- Level lavatory with leveling screws as required and secure in place with locking device.

FIGURE NUMBER	0700, 0700 (-E)	REVISED CALLOUTS Updated Drawing Revised Submittal Revised Base Plate	TBW	CL	WEIGHT POUNDS	VOLUME CUBIC FEET	FIGURE NUMBER
	JJ		CL	0700, 0700 (-E)			
REV.	DATE	DESCRIPTION	BY	CKD. BY	INSTALLATION INSTRUCTIONS		

GERBER.

Two Handle Bar Faucet

**Features:**

- Gooseneck spout
- Cast brass underbody with heavy chrome plated brass shell
- Metal handles with acrylic hot and cold index buttons
- Compression stems with renewable brass seats
- Working parts can be easily replaced
- 1/2" NPSM supply connections with brass coupling nuts
- ADA compliant handles operate with less than 5 lbs. force
- 2.2 gpm (8.3 L/min) @ 60 psi maximum aerator

**Technical Specifications:**

- ANSI/ASME A112.18.1M
- ANSI A117.1 (ADA)
- CSA B125
- ANSI/NSF 61-1997b

**Catalog Numbers:**

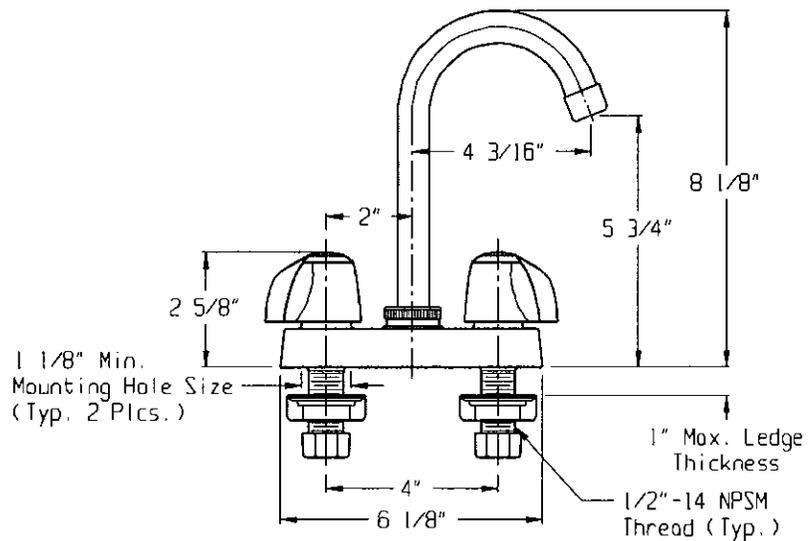
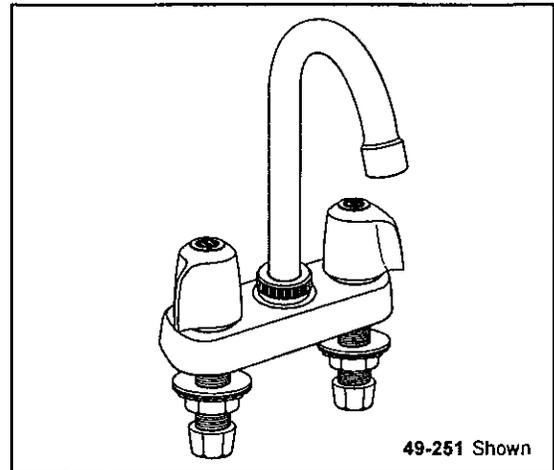
49-251 Chrome

**Prefixes Available:**

None

**Suffixes Available:**

None



Job Name	
Date	
Model Specified	
Quantity	
Customer	
Contractor	
Architect/engineer	

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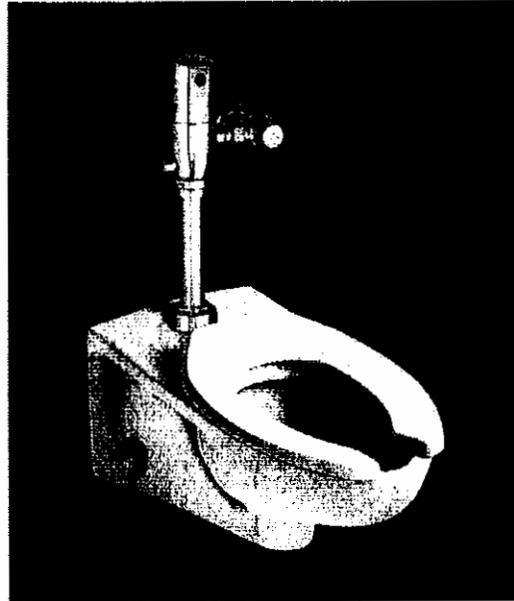
# AFWALL® MILLENNIUM™ FloWise® ELONGATED FLUSHOMETER TOILET

VITREOUS CHINA LESS EVERCLEAN®

BARRIER FREE

## AFWALL® MILLENNIUM™ FloWise® ELONGATED FLUSHOMETER TOILET LESS EVERCLEAN®

- Wall-mounted flushometer valve toilet
- Vitreous china
- Conventional glaze
- High Efficiency, Low Consumption. Operates in the range of 1.1 gpf to 1.6 gpf (4.2 Lpf to 6.0 Lpf)
- Meets definition of HET (High Efficiency Toilet) when used with a high efficiency flush valve (1.1 gpf - 1.6 gpf or 1.28/1.1 gpf dual flush)
- Maximum Performance (MaP) score of 1,000 grams at 1.1 gpf - 1.6 gpf
- Condensation channel
- Concealed trapway design
- Elongated bowl
- Powerful direct-fed siphon jet action
- 1-1/2" inlet spud
- Fully-glazed 2-1/8" trapway
- 10" x 12" water surface area
- Static weight load of 1,000 lbs.\*
- 100% factory flush tested



SEE REVERSE FOR ROUGHING-IN DIMENSIONS

- 2257.101** Elongated bowl only, top spud
- 2257.101.NAF** Elongated bowl only, top spud, NAFTA Compliant
- 2633.101** Elongated bowl only, top spud with slotted rim for bedpan holding
- 2634.101** Elongated bowl only, back spud

### System MaP\* Score:

- 1,000 grams of miso @ 1.1 gpf to 1.6 gpf when used with an American Standard flush valve

\* Maximum Performance (MaP) testing performed by IAPMO R&T Lab. MaP Report conducted by Veritec Consulting, Inc. and Koeller and Company.

### Component Parts:

- 047007-0070A** Inlet Spud (furnished with bowl)

### Nominal Dimensions:

660 x 356 x 381mm  
(26" x 14" x 15")

Recommended working pressure--between 25 psi at valve when flushing and 80 psi static

Fixture only, less seat, bolt caps, and flushometer valve

### Compliance Certifications -

#### Meets or Exceeds the Following Specifications:

- ASME A112.19.2/CSA B45.1 for Vitreous China Fixtures

\* This product is not recommended for bariatric use.

### To Be Specified:

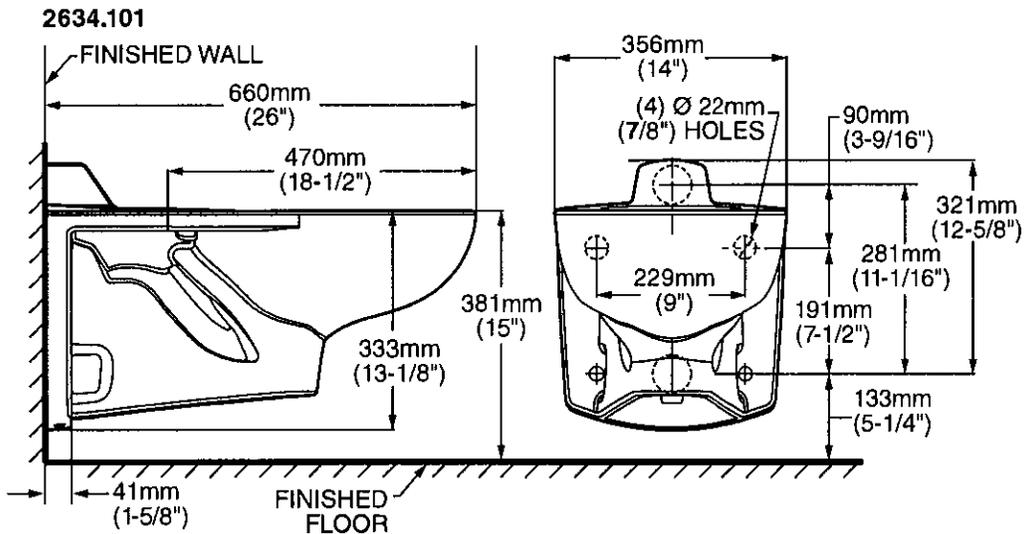
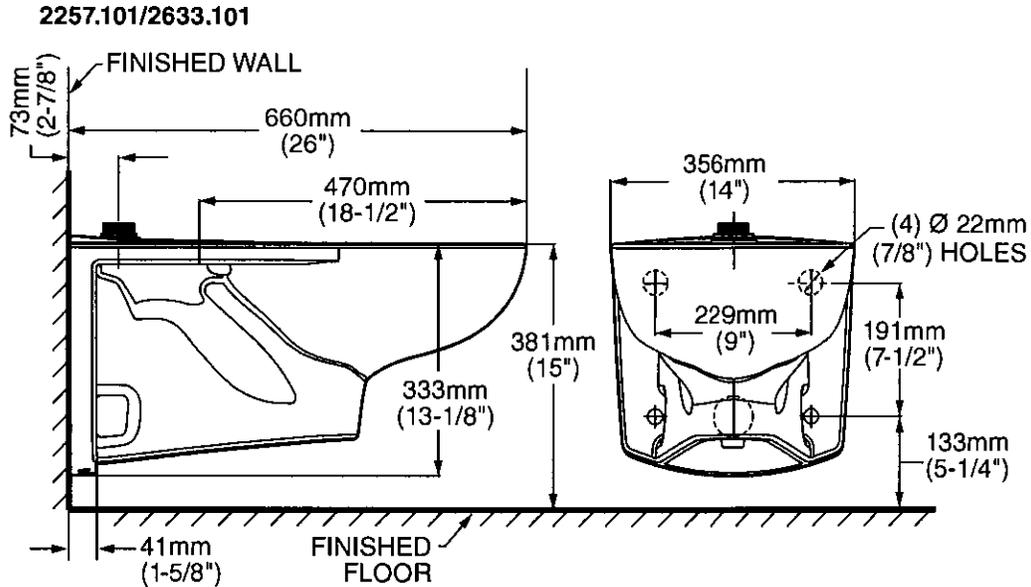
- Color:  White
- Seat:
  - American Standard #5901.100 Heavy duty open front less cover
  - American Standard #5905.100 Extra heavy duty open front less cover
- Flushometer Valve:
  - 1.6 gpf:
    - Sensor-Operated: American Standard Selectronic® DC Power #6065.161.002 (Top Spud)  
AC Power #6067.161.002 (Top Spud)
    - Manual: American Standard #6047.161.002 (Top Spud)
  - 1.28 gpf:
    - Sensor-Operated: American Standard Selectronic® DC Power #6065.121.002 (Top Spud)  
AC Power #6067.121.002 (Top Spud)
    - Manual: American Standard #6047.121.002 (Top Spud)
  - 1.6 / 1.1 gpf Dual Flush:
    - Sensor-Operated: American Standard Selectronic® DC Power #6065.761.002 (Top Spud)  
AC Power #6067.761.002 (Top Spud)
  - 1.28 / 1.1 gpf Dual Flush:
    - Sensor-Operated: American Standard Selectronic® DC Power #6065.721.002 (Top Spud)  
AC Power #6067.721.002 (Top Spud)



MEETS THE AMERICANS WITH DISABILITIES ACT GUIDELINES AND ANSI A117.1 REQUIREMENTS FOR ACCESSIBLE AND USABLE BUILDING FACILITIES - CHECK LOCAL CODES.

• When installed so top of seat is 432 to 483mm (17" to 19") from the finished floor.





**NOTES:**

● Toilet designed to meet ADA accessibility standards when top of seat height set at 432 to 483mm (17" to 19") from finished floor.

PRODUCT 2257 SHOWN, 2366 SAME EXCEPT WITH SLOTTED RIM FOR BED PAN HOLDING.

WASTE OUTLET SEAL RING MUST BE NEOPRENE OR GRAPHITE-FELT (WAX RING NOT RECOMMENDED).

SUGGESTED 2mm (1/16) CLEARANCE BETWEEN FACE OF WALL AND BACK OF BOWL.

TO COMPLY WITH AREA CODE GOVERNING THE HEIGHT OF VACUUM BREAKER ON THE FLUSHOMETER VALVE, THE PLUMBER MUST

VERIFY DIMENSIONS SHOWN FOR SUPPLY ROUGHING.

FLUSHOMETER VALVE NOT INCLUDED WITH FIXTURE AND MUST BE ORDERED SEPARATELY.

CARRIER FITTING AS REQUIRED TO BE FURNISHED BY OTHERS.

PROVIDE SUITABLE REINFORCEMENT FOR ALL WALL SUPPORT.

**IMPORTANT:** Dimensions of fixtures are nominal and may vary within the range of tolerances established by ANSI Standard A112.19.2.

These measurements are subject to change or cancellation. No responsibility is assumed for use of superseded or voided pages

► **Code Number**

3010000

► **Description**

Exposed Water Closet Flushometer, for floor mounted or wall hung top spud bowls.

► **Flush Cycle**

Model 111 Low Consumption (1.6 gpf/6.0 lpf)

► **Specifications**

Quiet, Exposed, Diaphragm Type, Chrome Plated Closet Flushometer for left or right hand supply with the following features:

- Fixed Volume Piston with Filtered O-ring Bypass
- Metal Oscillating Non-Hold open Handle with Triple Seal Handle Packing
- Spud Coupling and Wall Flanges
- Spud Coupling and Flange for 1½" Top Spud
- Sweat Solder Adapter with Cover Tube & Cast Wall Flange with Set Screw
- Non-Hold-Open Handle, Fixed Metering Bypass and No External Volume Adjustment to Ensure Water Conservation
- Flush Accuracy Controlled by CID Technology
- Handle Packing and Vacuum Breaker to be molded from PERMEX® Rubber Compound for Chloramine Resistance
- 1" I.P.S. Screwdriver Bak-Chek® Stop with free spinning vandal resistant stop cap

Valve Body, Cover and Tailpiece shall be in conformance with ASTM Alloy Classification for Semi-Red Brass. Valve shall be in compliance to the applicable sections of ASSE 1037.

► **Accessories**

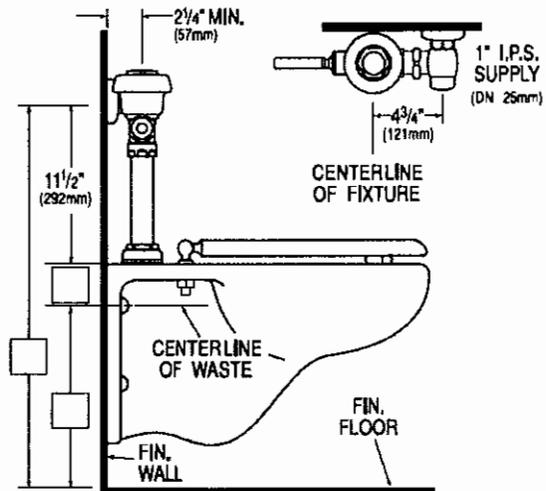
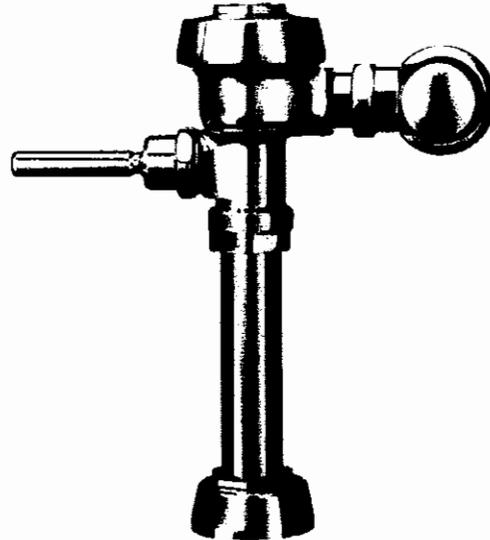
See Accessories Section of the Sloan catalog for details on these and other Flushometer variations.

► **Fixtures**

Consult factory to match Sloan fixture options.

► **Variations**

See Variation Section of the Sloan Catalog for details on these and other Flushometer accessories.



► **Compliance & Certifications**

Made In The  
**USA**



This space for Architect/Engineer Approval



# COMMERCIAL HEAVY-DUTY PLASTIC TOILET SEAT

MODEL #

COLOR #

## 10CT/10SSCT

### DESCRIPTION :

Open front less cover, elongated, heavy-duty, injection molded solid plastic toilet seat. Features four molded-in bumpers, non self-sustaining (10CT) or self-sustaining (10SSCT) check hinges with non-corrosive 300 Series stainless steel posts and pintles and STA-TITE® Commercial Fastening System™. This seat complies with IAPMO/ANSI Z124.5-2013 Plastic Toilet Seats as a class Commercial Heavy Duty.

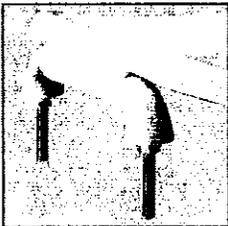
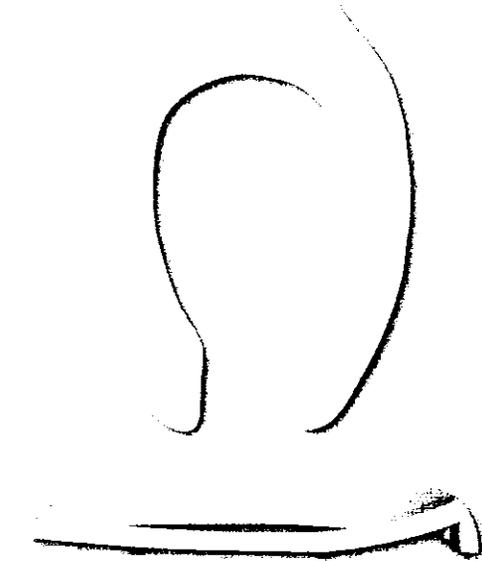
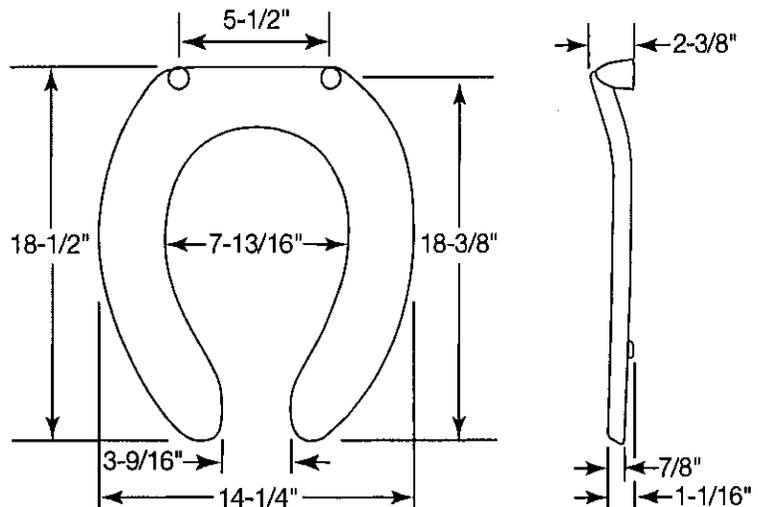
### SPECIFICATIONS :

Size:	Elongated
Material:	Plastic
Style:	Open Front less Cover
Bumpers:	Four
Hinges:	Non-Self Sustaining (10CT) with 300 Series Stainless Steel Posts and Pintles or Plastic Self-Sustaining (10SSCT)
Fastening System:	STA-TITE® Commercial Fastening System™

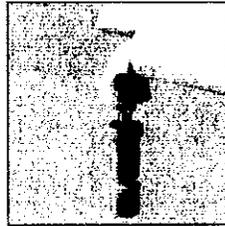
### FEATURES :

- STA-TITE® Commercial Fastening System™
- Non-Corrosive 300 Series Stainless Steel Posts and Pintles

### DIMENSIONS :



PLASTIC HINGES WITH  
STAINLESS STEEL POSTS  
AND PINTLES



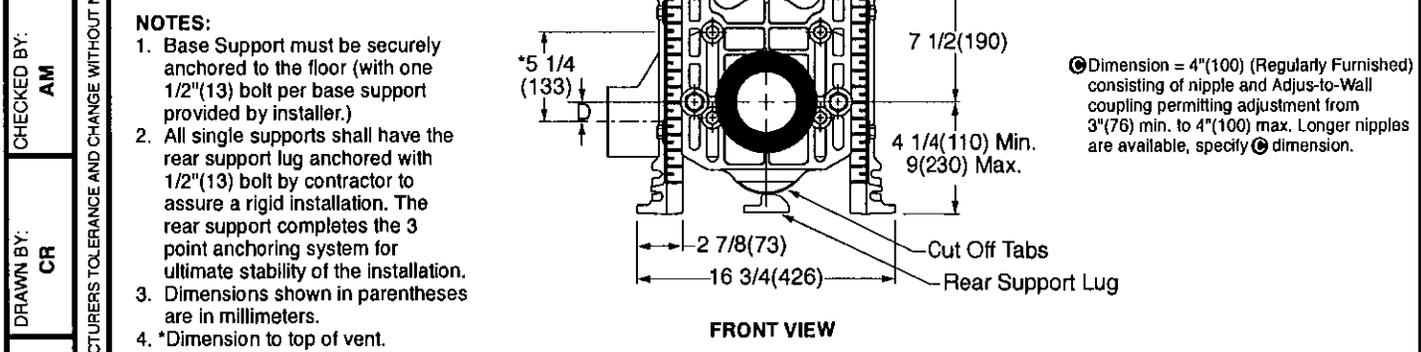
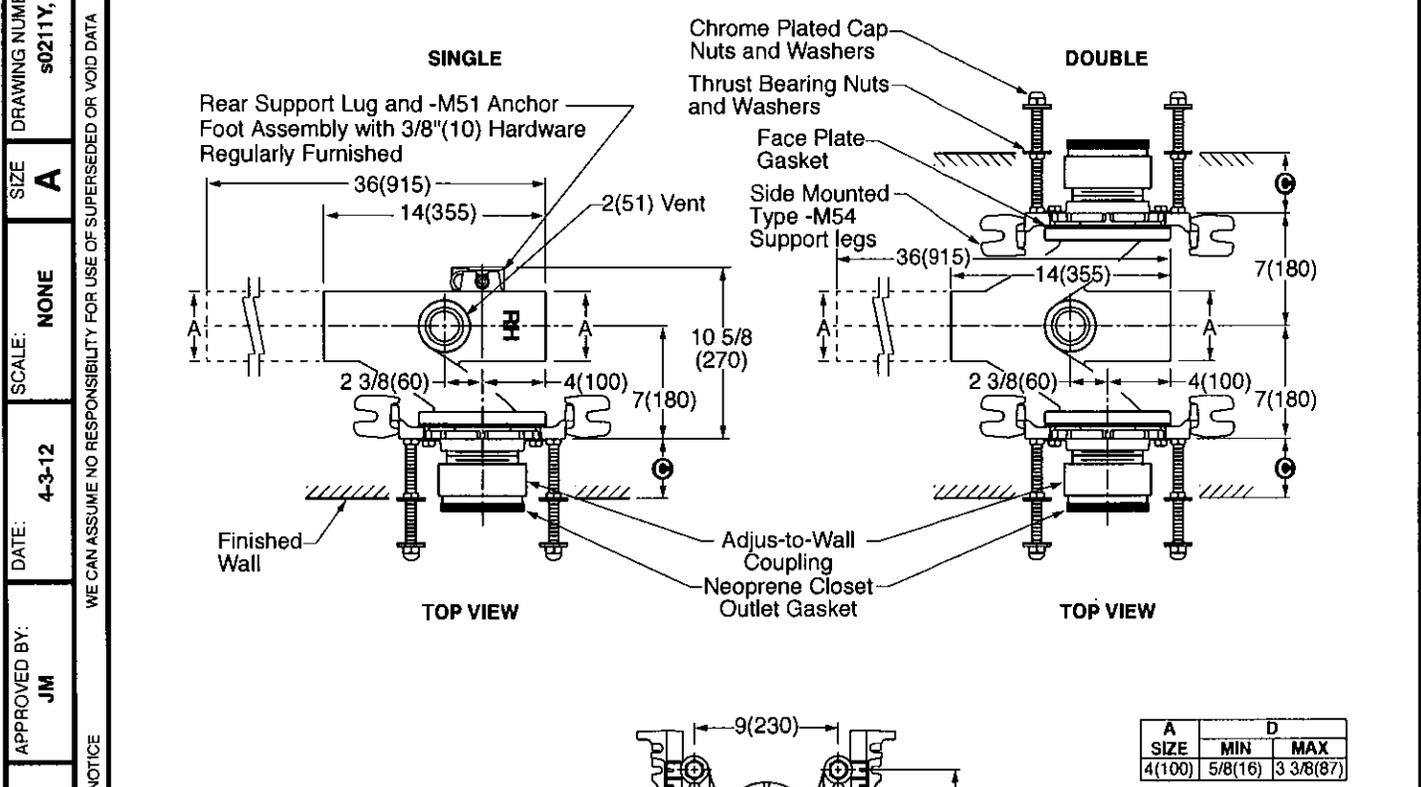
STA-TITE® COMMERCIAL  
FASTENING SYSTEM™

Proudly Made in the USA

Bemis Manufacturing Co., Sheboygan Falls, WI 53085  
www.ToiletSeats.com

Phone: 800-558-7651 Fax: 800-292-3647  
©2014 OB7012308 REV B

# ADJUSTABLE FIXTURE SUPPORTS FOR SIPHON JET WATER CLOSETS



- NOTES:**
1. Base Support must be securely anchored to the floor (with one 1/2"(13) bolt per base support provided by installer.)
  2. All single supports shall have the rear support lug anchored with 1/2"(13) bolt by contractor to assure a rigid installation. The rear support completes the 3 point anchoring system for ultimate stability of the installation.
  3. Dimensions shown in parentheses are in millimeters.
  4. \*Dimension to top of vent.
- Fig. 0211LY (-M54) ..... NO-HUB Left Hand  
 Fig. 0211RY (-M54) ..... NO-HUB Right Hand  
 Fig. 0211DY (-M54) ..... NO-HUB Double  
 Fig. 0221LY (-M54) ..... NO-HUB Left Hand Long Barrel  
 Fig. 0221RY (-M54) ..... NO-HUB Right Hand Long Barrel  
 Fig. 0221DY (-M54) ..... NO-HUB Double Long Barrel

FIGURE NUMBER	D 9-21-15 C 10-27-14 B 8-5-13 A 9-14-12	Rev. Callout, Note Added 0221Y (-M54) Rev. Notes Rev. Drawing, Notes	TBW CL CL JM CL	WEIGHT POUNDS	VOLUME CUBIC FEET	FIGURE NUMBER <b>0211Y (-M54)</b> <b>0221Y (-M54)</b>
REV.	DATE	DESCRIPTION	BY	CKD. BY		

DRAWING NUMBER: 0211Y, 0221Y (-M54)  
 SIZE: A  
 SCALE: NONE  
 DATE: 4-3-12  
 APPROVED BY: JM  
 CHECKED BY: AM  
 DRAWN BY: CR  
 DIMENSIONS ARE SUBJECT TO MANUFACTURERS TOLERANCE AND CHANGE WITHOUT NOTICE  
 WE CAN ASSUME NO RESPONSIBILITY FOR USE OF SUPERSEDED OR VOID DATA

# ELKAY®

## SPECIFICATIONS

### Versatile Bi-Level Water Cooler Pushbar Activated Models EZ(S)TL8 and Model EZ(S)TLDD

RATED FOR INDOOR USE ONLY

#### PRODUCT SPECIFICATION

Self-contained wall mount electric two-level water cooler. Models EZ(S)TL8 and EZTL8 shall deliver 8 GPH of 50°F drinking water at 90°F ambient and 80°F inlet water. Models EZ(S)TLDD shall deliver non-chilled drinking water. Unit shall meet ADA guidelines. Unit shall be lead-free design which is certified to NSF/ANSI 61 and 372 and meets Federal and State low-lead requirements. Unit shall be certified to UL399 and CAN/CSA 22.2 No. 120.

Models EZSTL have self-closing Easy-Touch pushbar controls on front & sides. Models EZTL have self-closing Easy-Touch pushbar controls on front only. Models EZ(S)TLDD are non-refrigerated. Requires outlet for power cord.

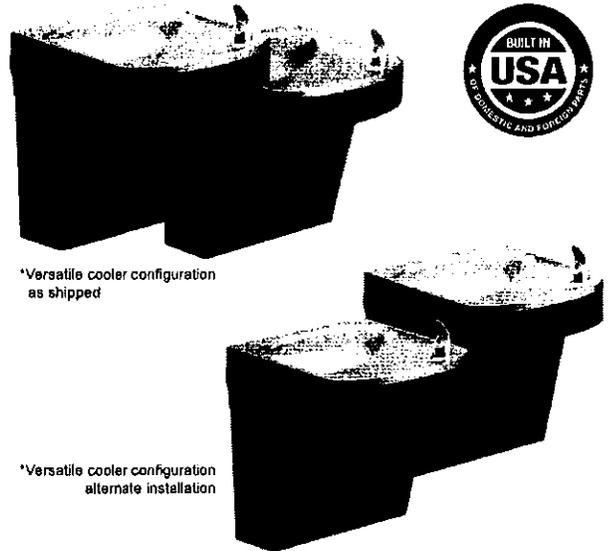
NOTE: Minimum 40 psi supply line pressure required in special circumstances where both sides of two-level are in use simultaneously to ensure adequate stream height.

#### STANDARD FEATURES

- Easy-Touch pushbar activation
- Extra deep basin minimizes splashing; with integral drain
- Available with Flexi-Guard® Safety bubbler or Vandal-resistant<sup>†</sup> bubbler
- Vandal-resistant<sup>†</sup> bubbler (includes "VR" code in model no.)
- Valve with built-in flow regulator to provide constant stream from 20 to 105 psi water pressure
- \*Versatile cooler design allows units to be installed either left-hand high and right-hand low or left-low and right high
- Cooler panel finishes: Light Gray Granite Vinyl Clad Steel or Stainless Steel
- Rated for Indoor Use

#### COOLING SYSTEM (Models EZ(S)TL(VR)8 only)

- Compressor: Hermetically-sealed, reciprocating type, single phase. Sealed-in lifetime lubrication.
- Condenser: Fan cooled, copper tube with aluminum fins. Fan motor is permanently lubricated.
- Cooling Unit: Tube type. Self-cleansing. Continuous Copper tubing which is fully insulated with EPS foam that meets UL requirements for self-extinguishing material.
- Refrigerant Control: Refrigerant R134a is controlled by accurately calibrated capillary tube.
- Temperature Control: Easily accessible enclosed adjustable thermostat is factory preset. Requires no adjustment other than for altitude requirements.



#### CONSTRUCTION

- Stainless Steel basin with integral drain
- Galvanized structural steel cooler chassis provides structural integrity
- Cooler cabinet available as Light Gray Granite Vinyl Clad Steel or Stainless Steel (additional cost) construction
- Exclusive Flexi-Guard® Safety bubbler (option) utilizes an infused anti-microbial pliable polyester elastomer to prevent accidental mouth injuries. Flexes on impact.
- Vandal-resistant<sup>†</sup> bubbler (option) is one-piece, heavy duty construction

**Warranty:** 5 year limited warranty on the unit's refrigeration system. Electrical components and water system are warranted for 12 months from date of installation or 18 months from factory shipment, whichever date falls first.

CAPACITIES CHART						UL US	ADA Compliant	ANSI/NSF 61 and 372 Certified
Model	Voltage / Hertz	Chilling** Capacity	F.L. Amps	Rated Watts	Approx. Ship Wt.	UL399 and CAN/CSA 22.2 No. 120 Certified	ADA Compliant	ANSI/NSF 61 and 372 Certified
† EZ(S)TL8*(F)C	115V / 60Hz	8 GPH	4.0	370	72 lbs.	•	•	•
EZ(S)TLVR8*C	115V / 60Hz	8 GPH	4.0	370	72 lbs.	•	•	•
EZ(S)TL(VR)8*2JOC	220V / 50Hz	6.7 GPH	2.0	370	72 lbs.	++	•	•
† EZ(S)TLDD*C	115V / 60Hz	—	1.0	15	46 lbs.	•	•	•
EZ(S)TLVRDD*C	115V / 60Hz	—	1.0	15	46 lbs.	•	•	•

\*Color code of (L) Light Gray Granite or (S) Stainless Steel cooler panels.  
 \*\*Based on 80°F inlet water & 90°F ambient air temp for 50°F chilled drinking water.  
 ++Complies; not third party certified.  
 † Glass filler available at extra cost, add code (F). Requires factory preparation to receive glass filler.

*This specification describes an Elkay product with design, quality and functional benefits to the user. When making a comparison of other producer's offerings, be certain these features are not overlooked.*

**Versatile Bi-Level Water Cooler  
Pushbar Activated  
Models EZ(S)TL8 and Model EZ(S)TLDD**

**ELKAY®  
ROUGH-IN DIMENSIONS**

RATED FOR INDOOR USE ONLY

**IMPORTANT! INSTALLER PLEASE NOTE:**

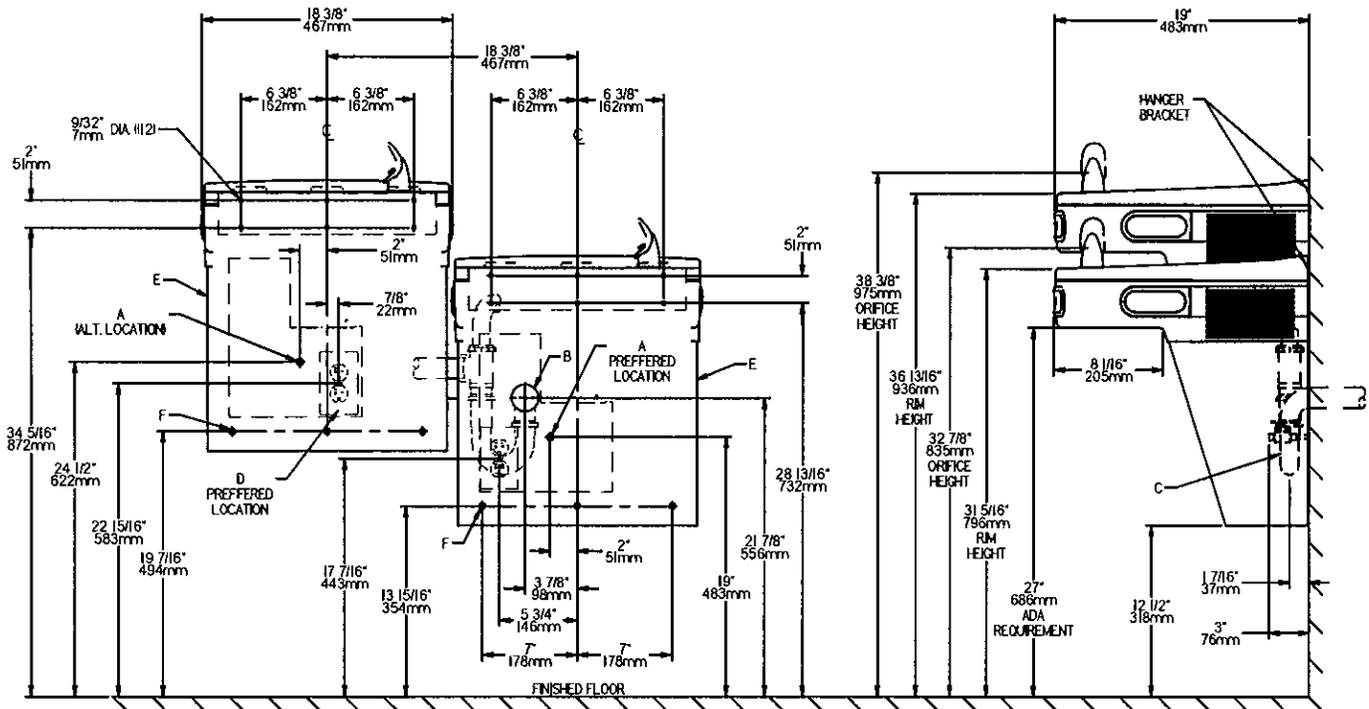
These units are designed and built to provide water to the user which has not been altered by materials in the cooler waterway. The grounding of electrical equipment such as telephone, computers, etc. to water lines is a common procedure. This grounding may be in the building but may also occur away from the building. This grounding can cause electrical feedback into a water cooler creating an electrolysis which results in a metallic taste or an increase in the metal content of the water. This condition is avoidable by installing the cooler using the proper materials as shown.

**NOTICE**

This water cooler must be connected to the water supply using a dielectric coupling. The cooler is furnished with a non-metallic strainer which meets this requirement. The drain trap which is provided by the installer should also be plastic to completely isolate the cooler from the building plumbing system.

Model shown with Flexi-Guard® bubbler.

**ROUGH-IN FOR LEFT-HAND HIGH SIDE MODELS**



REDUCE HEIGHT BY 3 INCHES FOR INSTALLATION OF CHILDRENS ADA COOLER

**LEGEND:**

- A = Recommended Water Supply location. Shut-off Valve (not furnished) to accept 3/8" O.D. unplated copper tube. Up to 3" (76mm) maximum out from wall.
- B = Recommended Waste Outlet location. To accommodate 1-1/2" nominal drain. Drain stub 2" (51mm) out from wall.
- C = 1-1/2" Trap (not furnished).
- D = Electrical Supply (3) Wire Recessed Box Duplex Outlet.
- E = Insure proper ventilation by maintaining 6" (152mm) minimum clearance from cabinet louvers to wall.
- F = 7/16" (11mm) Bolt Holes for fastening to wall.

NOTE: New Installations Must Use Ground Fault Circuit Interrupter (GFCI)

Job Name:	_____
Model:	_____ Qty. _____
Contact:	_____
Approval Signature:	_____
Notes:	_____

**Versatile Bi-Level Water Cooler**  
**Pushbar Activated**  
**Models EZ(S)TL8 and Model EZ(S)TLDD**

**ELKAY®**  
**ROUGH-IN DIMENSIONS**

RATED FOR INDOOR USE ONLY

**IMPORTANT! INSTALLER PLEASE NOTE:**

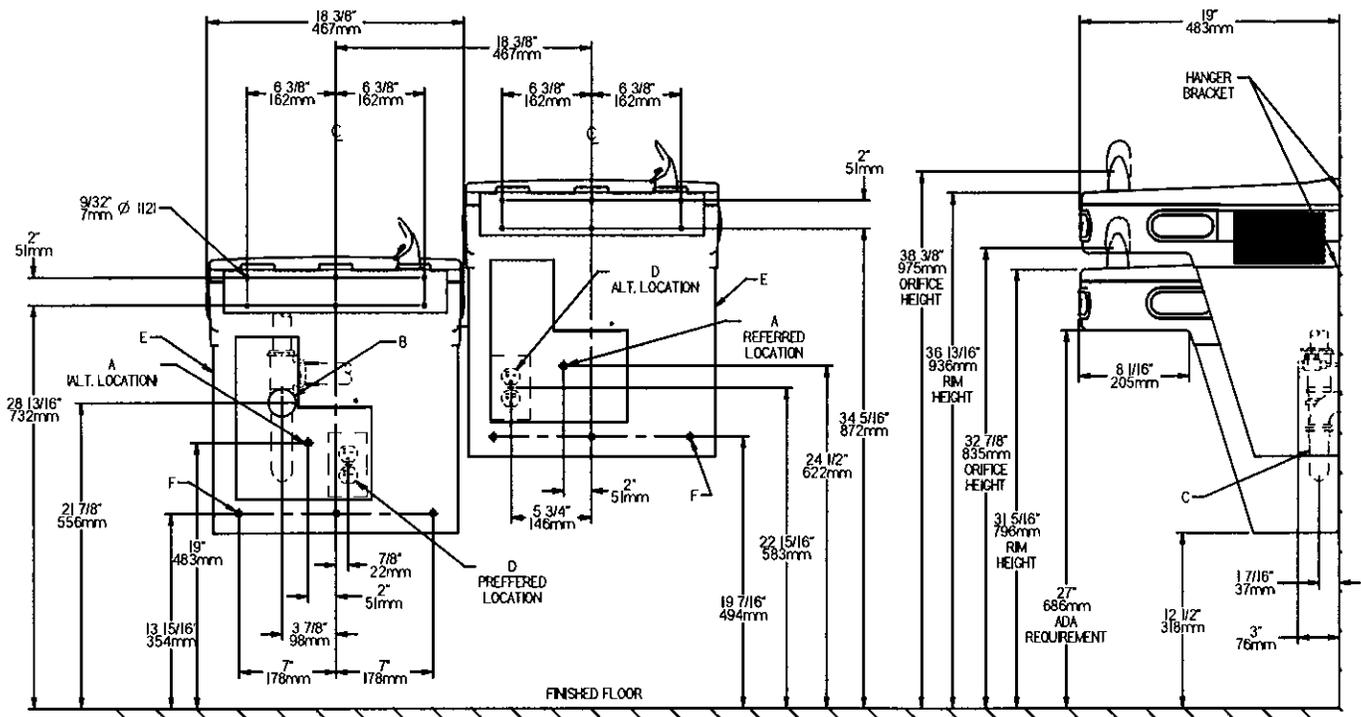
These units are designed and built to provide water to the user which has not been altered by materials in the cooler waterway. The grounding of electrical equipment such as telephone, computers, etc. to water lines is a common procedure. This grounding may be in the building but may also occur away from the building. This grounding can cause electrical feedback into a water cooler creating an electrolysis which results in a metallic taste or an increase in the metal content of the water. This condition is avoidable by installing the cooler using the proper materials as shown.

**NOTICE**

This water cooler must be connected to the water supply using a dielectric coupling. The cooler is furnished with a non-metallic strainer which meets this requirement. The drain trap which is provided by the installer should also be plastic to completely isolate the cooler from the building plumbing system.

Model shown with Flexi-Guard® bubbler.

**ROUGH-IN FOR RIGHT-HAND HIGH SIDE MODELS**



REDUCE HEIGHT BY 3 INCHES FOR INSTALLATION OF CHILDRENS ADA COOLER

**LEGEND:**

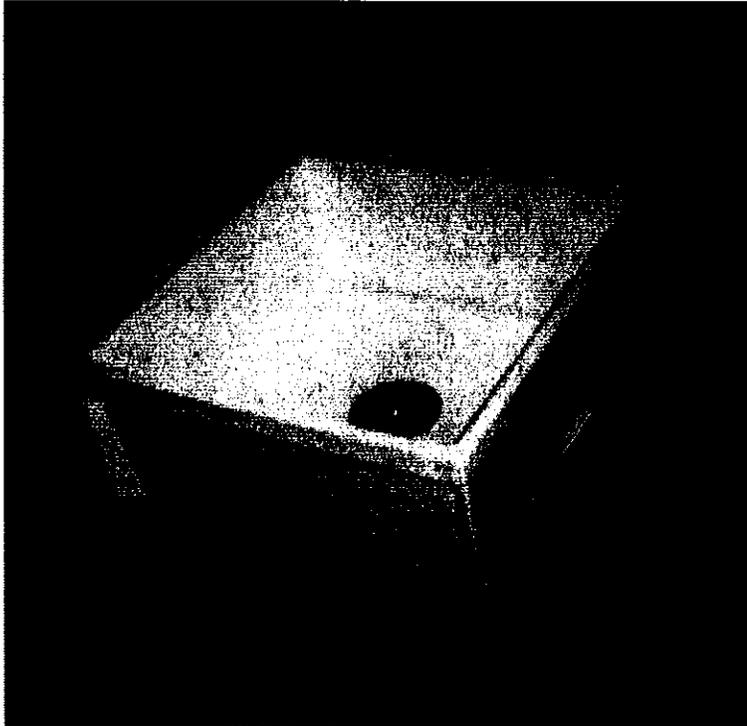
- A = Recommended Water Supply location, Shut-off Valve (not furnished) to accept 3/8" O.D. unplated copper tube. Up to 3" (76mm) maximum out from wall.
- B = Recommended Waste Outlet location. To accommodate 1-1/2" nominal drain. Drain stub 2" (51mm) out from wall.
- C = 1-1/2" Trap (not furnished).
- D = Electrical Supply (3) Wire Recessed Box Duplex Outlet.
- E = Insure proper ventilation by maintaining 6" (152mm) minimum clearance from cabinet louvers to wall.
- F = 7/16" (11mm) Bolt Holes for fastening to wall.

NOTE: New Installations Must Use Ground Fault Circuit Interrupter (GFCI)

Job Name: \_\_\_\_\_  
 Model: \_\_\_\_\_ Qty. \_\_\_\_\_  
 Contact: \_\_\_\_\_  
 Approval Signature: \_\_\_\_\_  
 Notes: \_\_\_\_\_

# MOLDED-STONE® MOP SERVICE BASIN

**MSB 2424**  
**MSB 3624**



## Molded-Stone® Mop Service Basin

### FEATURES

#### • MSB 2424

The MSB 2424 shall have overall outside dimensions of 24" x 24" x 10". The molding shall be done in matched metal dies under heat and pressure resulting in a one-piece homogeneous product. The unit shall have 10" high walls with not less than 1" wide.

The stainless steel drain body is designed to provide for a caulk connection or QDC-3 joint to a 3" drain pipe. A combination dome strainer and lint basket made from stainless steel shall be included with factory installed stainless steel drain body for caulked joint to accept a 3" pipe.

#### • MSB 3624

The MSB 3624 shall have overall outside dimensions of 36" x 24" x 10". The molding shall be done in matched metal dies under heat and pressure resulting in a one-piece homogeneous product. The unit shall have 10" high walls with not less than 1" wide shoulders and an integrally molded shelf 10 3/8" wide where indicated.

The stainless steel drain body is designed to provide for a caulk connection or QDC-3 joint to a 3" drain pipe. A combination dome strainer and lint basket made from stainless steel shall be included with factory installed stainless steel drain body for caulked joint to accept a 3" pipe.

### NOTES

### OPTIONS

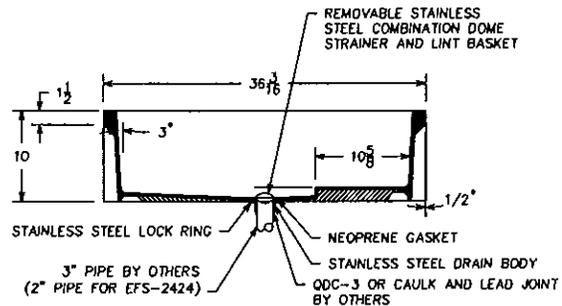
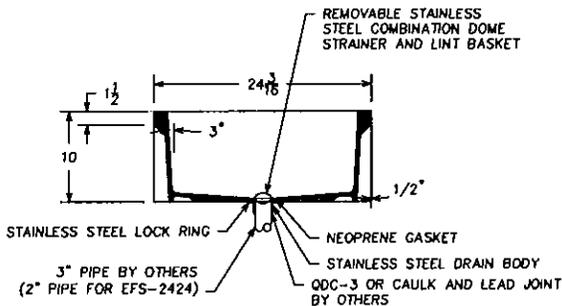
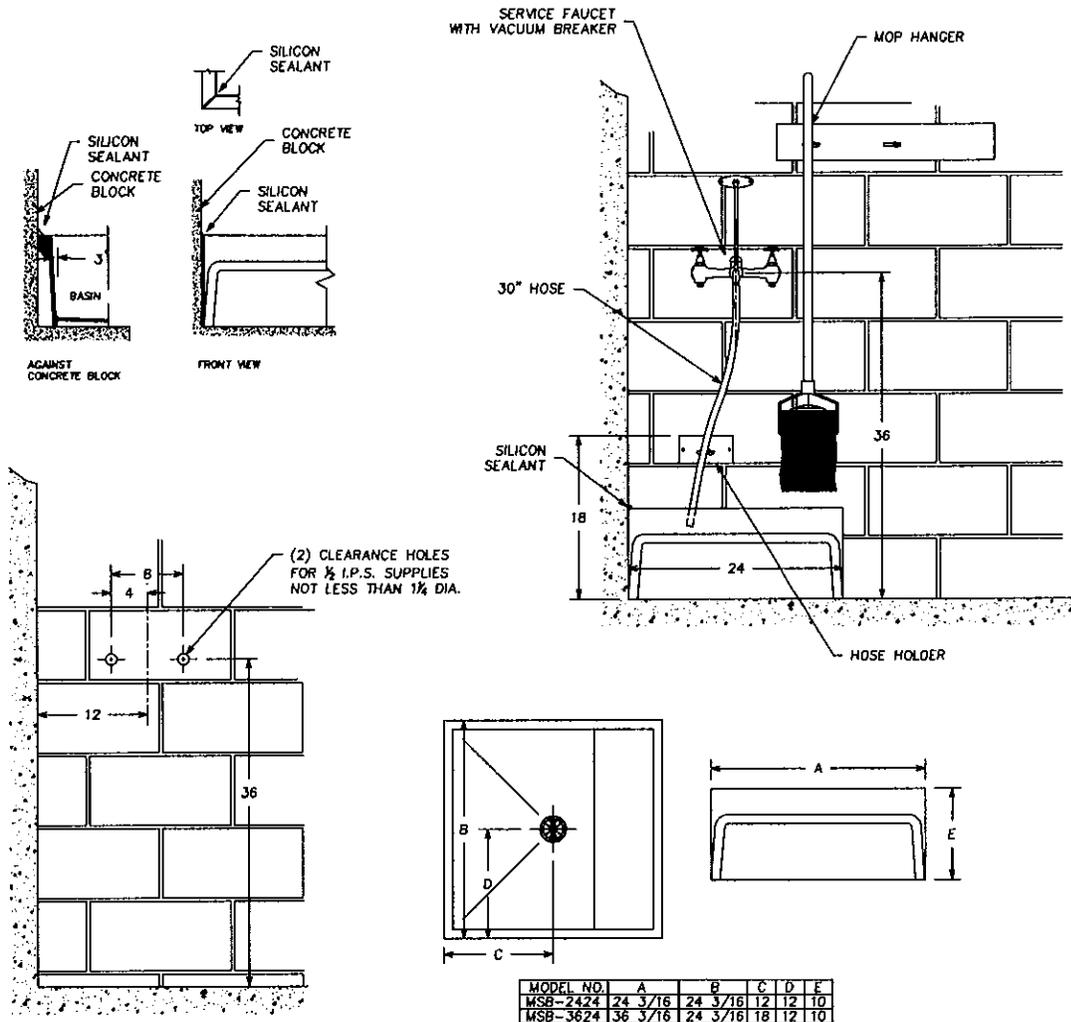
- Service Faucet (830-AA): Chrome plated with vacuum breaker, integral stops, adjustable wall brace, pail hook and 3/4" hose thread on spout.
- Hose and Hose Bracket (832-AA)
- Mop Hanger (889-CC)
- Alternate Strainer (1453-BB) - For residential use (EFS-3624 and EFS-2424)
- 3" Quick Drain Connector (QDC-3XH): Neoprene connecting gasket suitable for attaching extra heavy cast iron soil pipe and Schedule 40 steel pipe to the drain body. Neoprene connecting gasket (QDC-3SN) suitable for attaching hubless cast iron pipe (no hub, nominal O.D. of 3.31") and service weight cast iron soil pipe (nominal O.D. of 3.38") to the drain body.
- Silicone Sealant (833-AA)
- Vinyl Bumperguard (E-77-AA)
- Stainless Steel Bumperguard (E-88-AA)
- Stainless Steel Wall Guard (MSG2424, MSG2828, MG3232, MSG3636, and MSG3624)

 **FIAT PRODUCTS®**  
ACRANE PLUMBING COMPANY

# MOLDED-STONE® MOP SERVICE BASIN

## MSB 2424 MSB 3624

Molded-Stone® Mop Service Basin



**FIAT PRODUCTS®**  
ACRANE PLUMBING COMPANY

**IMPORTANT:** Roughing-in dimensions may vary 1/8" and are subject to change or cancellation without prior notice.

CR/PL© 04/03 Printed in U.S.A

# Proposal

F/J HESS AND SONS & FURINO FUELS INC.  
PLUMBING, HEATING, A/C, PROPANE FUEL OILS  
116 MCTA DRIVE SWIFTWATER, PA 18370  
(570)839-1300 FAX (570)839-3400  
PA CONTRACTOR NO. PA005031 www.fjhess.com

March 14, 2016

Summary: PLBG PROPOSAL  
Reference #: 8560-104  
SP: BLAINE  
Due Date: 4/13/2016

MOUNTAIN VIEW PARK  
PO BOX 197  
TANNERSVILLE, PA 18372

**Job Name:**  
POCONO TWSP HERITAGE CENTER

(570)629-1922

---

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## We Hereby Submit Specifications And Estimates For:

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---

F/J HESS AND SONS PROPOSE TO PERFORM THE FOLLOWING SERVICES:

- WE WILL INSTALL AND SUPPLY A COMPLETE PLUMBING RENOVATION PER PLANS. ALL WORK TO BE COMPLETED IN A PROFESSIONAL AND TIMELY MANNER. ANY ALTERATIONS OR DEVIATIONS FROM THE SPECIFIED WORK INVOLVING EXTRA CHARGES WILL BE COMPLETED UPON WRITTEN CONSENT.

THE PROPOSAL WILL INCLUDE THE FOLLOWING LABOR, AND MATERIALS.

-PLUMBING DEMO OF TWO EXISTING BATHS.  
-NEW FIXTURES FOR WOMEN AND MENS BATHS. ONE WALL HUNG ADA SINK AND FLOOR MOUNT ADA TOILET IN EACH BATH INCLUDING FAUCET AND FLUSH VALVE.  
-NEW BI-LEVEL ADA WATER COOLER FOUNTAIN FOR VESTIBULE.  
-NEW SINK AND FAUCET FOR MAIN MEETING AREA.  
-NEW MOP SINK AND FAUCET FOR JANITORIAL ROOM.

\*\*\*DRAIN DOWNS FOR WINTERIZATION WILL BE INSTALLED WITH TEES AND BOILER DRAINS FOR EACH BATH\*\*\*

\*\*\*ALL GRAB BARS AND OTHER ADA ACCESIBLE MATERIALS INCLUDED\*\*\*

\*\*THIS BID DOES NOT INCLUDE ANY FIRE PROTECTION\*\*

THANK YOU FOR GIVING ME THE OPPORTUNITY TO BID ON YOUR PROJECT. I HOPE THIS PROPOSAL EXCEEDS YOUR EXPECTATIONS. IF YOU HAVE ANY QUESTIONS PLEASE FEEL FREE TO CALL ME OR YOU CAN EMAIL ME AT BLAINEFARDELLA@FJHESS.COM

LABOR AND MATERIALS	1.00	19890.00	19890.00
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# Proposal

F/J HESS AND SONS & FURINO FUELS INC.  
PLUMBING, HEATING, A/C, PROPANE FUEL OILS  
116 MCTA DRIVE SWIFTWATER, PA 18370  
(570)839-1300 FAX (570)839-3400  
PA CONTRACTOR NO. PA005031 www.fjhess.com

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MOUNTAIN VIEW PARK  
PO BOX 197  
TANNERSVILLE, PA 18372

**Job Name:**  
POCONO TWSP HERITAGE CENTER

(570)629-1922

---

---

**We Hereby Submit Specifications And Estimates For:**

---

---

DRAIN DOWNS FOR SUPPLY WATER FOR EACH BATH	2.00	200.00	400.00
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Material	Subtotal	Total
20290.00	20290.00	\$20,290.00

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All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon delays beyond our control. Purchaser agrees to pay all costs of collection, including attorney's fees. This proposal may be withdrawn by us if not accepted by the above due date .

Authorized Signature \_\_\_\_\_ Acceptance Signature \_\_\_\_\_ Date \_\_\_\_\_



Daniel M. Corveleyn  
Marc R. Wolfe  
James V. Fareri  
Gerard J. Geiger  
Vincent Rubino  
David L. Horvath

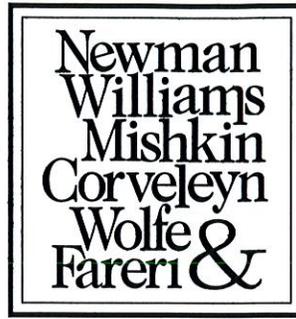
Aaron M. DeAngelo  
J. Zac Christman\*  
Robert J. Kidwell

*Of Counsel:*

Samuel W. Newman  
Todd R. Williams  
Ronald J. Mishkin

*\*Member of NJ and PA Bar*

ATTORNEYS AT LAW



A PROFESSIONAL CORPORATION

P. O. Box 511  
712 Monroe Street  
Stroudsburg, PA 18360-0511

February 25, 2016

Telephone  
570.421.9090

Fax 570.424.9739

www.newmanwilliams.com

Pocono Township Board of Commissioners  
P.O. Box 197  
Tannersville, PA 18372

**RE: Quaker Ridge  
Our File No. 41256**

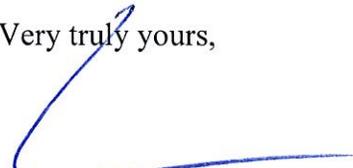
Dear Commissioners:

The Township Planning Commission at its meeting on Monday, February 22, 2016 recommended that the Board of Commissioners not approve the time extension request of Pocono Manor Investors, LP as set forth in my letter to the Board of Commissioners dated February 2, 2016. Pocono Manor Investors, LP respectfully requests that the Board of Commissioners consider the time extension request at a Commissioners meeting in April, 2016 as I will be traveling on vacation during the Commissioners regular March meetings.

Kindly advise me of the April Commissioners meeting at which the time extension request will be considered by the Board of Commissioners.

Thank you for your cooperation in this regard.

Very truly yours,



Marc R. Wolfe

MRW/aml

cc: Gregg Schuster  
Leo DeVito, Jr., Esq.  
James M. Cahill, PLS, PP

LAW OFFICES  
BROUGHAL & DeVITO, L.L.P.

38 WEST MARKET STREET  
BETHLEHEM, PENNSYLVANIA 18018-5703

JAMES L. BROUGHAL  
LEO V. DeVITO, JR.  
JOHN S. HARRISON  
JAMES F. PRESTON\*  
WENDY A. NICOLOSI  
LISA A. PEREIRA\*

\*ALSO MEMBER NEW JERSEY BAR

TELEPHONE  
(610) 865-3664  
FAX  
(610) 865-0969  
E-MAIL  
lawyers@broughal-devito.com  
WEBSITE  
www.broughal-devito.com

March 1, 2016

Mr. Thomas Felver  
President, Board of Commissioners  
Pocono Township  
PO Box 197  
Tannersville, PA 18372

**Re: Quaker Ridge – Time Extension Request**

Dear Mr. Felver:

At its February 22, 2016 meeting, the Pocono Township Planning Commission considered the time extension request presented by Pocono Manor Investors, LP, the developer of the Quaker Ridge Subdivision. The developer is seeking an extension of five (5) additional years to submit a Final Subdivision Plan. The Planning Commission voted unanimously to recommend denial of the applicant's request for a time extension of five (5) years.

Very truly yours,



Lisa A. Pereira, Esquire

**TOWNSHIP OF POCONO, MONROE COUNTY, PENNSYLVANIA**

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION GRANTING CONDITIONAL  
APPROVAL OF THE ROBERT K. ACE, JR. CONSTRUCTION, LLC - LEARN ROAD  
OFFICE CONVERSION PRELIMINARY/FINAL LAND DEVELOPMENT AND LOT  
COMBINATION PLAN**

**WHEREAS**, the applicant, Robert K. Ace, Jr. Construction, LLC, submitted a plan application titled “Learn Road Office Conversion Preliminary/Final Land Development and Lot Combination” (the “Plan”). The applicant proposes to convert an existing house into an office in the C-Commercial Zoning District and to include the addition of a proposed parking lot consisting of six (6) parking spaces. The parcels are owned by Robert K. Ace, Jr. Construction, LLC and are known as Monroe County Tax ID No. 12/8/1/73-1, PIN No. 12637202557180 and Tax ID No. 12/8/1/73, PIN No. 12637202557096; and

**WHEREAS**, the Township Engineer has reviewed the Plan and offered comments in his letters dated December 29, 2015 and March 11, 2016; and

**WHEREAS**, the Pocono Township Planning Commission recommended the conditional plan approval of the Plan at a meeting held on and March 14, 2016; and

**WHEREAS**, the Pocono Township Board of Commissioners desires to take final action on this Plan.

**NOW THEREFORE BE IT HEREBY RESOLVED** by the Board of Commissioners of Pocono Township, County of Monroe, and Commonwealth of Pennsylvania:

That the following requirements of the Subdivision and Land Development Ordinance are hereby deferred:

1. SALDO Section 3.208.J and 3.602 Table 3.2: Installation of curbs, gutters and/or drainage swales.
2. SALDO Section 3.608: Sidewalk installation within the street right-of-way.

That the following request for modification from Subdivision and Land Development Ordinance is hereby granted:

1. SALDO Section 3.608.C – Construction standard for sidewalks.

That the following request for modification from Road Encroachment Ordinance is hereby granted:

1. Ordinance 136: 6.D: Except for joint-use driveways, no portion of any driveway shall be located less than ten (10) feet from an adjoining property line. *The applicant shall be*

*permitted to maintain the radius of the proposed driveway within the ten (10) foot setback.*

That the “Learn Road Office Conversion Preliminary/Final Land Development and Lot Combination Plan” as shown on the plan prepared by Niclaus Engineering Corporation, dated December 2015, last revised February 12, 2016, be hereby approved with the following conditions and provided the plan is revised as follows, subject to the review and approval of the Township Engineer and/or Township Solicitor:

1. The applicant shall comply with all of the conditions and requirements identified in the Township Engineer’s letter dated March 11, 2016.
2. The applicant shall enter into an Improvements Agreement with the Township and provide appropriate security, if deemed necessary by the Township.
3. The applicant shall enter into a Maintenance Agreement with the Township and provide appropriate security, if deemed necessary by the Township.
4. The applicant shall enter into a Stormwater Management and Maintenance Agreement with the Township, if deemed necessary by the Township.
5. The applicant shall pay all necessary fees associated with the Plan, including but not limited to any outstanding plan account charges and all professional services fees, prior to the recording of the Plan.
6. The applicant shall obtain all required permits and approvals from other governmental and regulatory agencies prior to presenting the Plan for signatures.
7. The applicant shall provide three (3) mylars for recording the plans and eight (8) sets of paper prints which are signed and notarized by the owner and sealed by the engineer.
8. The applicant shall meet all conditions of the plan approval, and Plan shall be recorded within twelve (12) months of Conditional Plan approval, and agrees that if such conditions are not met, the Conditional Plan approval will be considered void.
9. The applicant shall accept these conditions in writing within five (5) days of receipt of the Board of Commissioners Resolution, otherwise the Plan is denied.

**RESOLVED** at a duly constituted meeting of the Board of Commissioners of the Township of Pocono the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

ATTEST:

Township of Pocono  
Board of Commissioners

By: \_\_\_\_\_  
Print Name: Pamela Finkbeiner  
Title: Secretary

By: \_\_\_\_\_  
Print Name: Thomas Felver  
Title: President

**TOWNSHIP OF POCONO, MONROE COUNTY, PENNSYLVANIA**

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION GRANTING CONDITIONAL  
APPROVAL OF THE SANOFI PASTEUR, INC. B-79 (FLU BUILDING) & B-80 (CUP  
BUILDING) PRELIMINARY/FINAL LAND DEVELOPMENT PLAN**

**WHEREAS**, the applicant, Sanofi Pasteur, Inc., submitted a plan application titled “Preliminary/Final Land Development Plans, Sanofi Pasteur Inc., B-79 (Flu Building) & B-80 (Cup Building)” (the “Plan”). The applicant proposes to construct an approximately 103,600 square foot footprint, a 3 story production building, approximately 8,500 square foot utility building, a modular seed lab, utility pipe racks, paved roadways, concrete sidewalks, and various upgrades. The parcels are owned by Sanofi Pasteur, Inc., and are known as Monroe County Tax ID No. 12/12/2/10-2, PIN No. 12636402969225.

**WHEREAS**, the Township Engineer has reviewed the Plan and offered comments in his letters dated October 7, 2015 and March 11, 2016; and

**WHEREAS**, the Pocono Township Planning Commission recommended the conditional plan approval of the Plan at a meeting held on and March 14, 2016; and

**WHEREAS**, the Pocono Township Board of Commissioners desires to take final action on this Plan.

**NOW THEREFORE BE IT HEREBY RESOLVED** by the Board of Commissioners of Pocono Township, County of Monroe, and Commonwealth of Pennsylvania:

That the following requests for modification from the Subdivision and Land Development Ordinance are hereby granted:

1. SALDO Sections 2.106 and 2.200: The initial plan submitted to the Commission for review shall be considered the Official Preliminary Plan. *The applicant shall be permitted to submit a preliminary/final land development plan.*
2. SALDO Sections 2.302.A and 2.303.A: *Plans shall be drawn at a scale not to exceed 1"=100'. Waiver to allow for the plans to be drawn at a scale greater than 1" = 100'.*

That the “Preliminary/Final Land Development Plans, Sanofi Pasteur Inc., B-79 (Flu Building) & B-80 (Cup Building)” as shown on the plan prepared by Borton Lawson Engineering, dated September 4, 2015, last revised January 22, 2016, be hereby approved with the following conditions and provided the plan is revised as follows, subject to the review and approval of the Township Engineer and/or Township Solicitor:

1. The applicant shall comply with all of the conditions and requirements identified in the Township Engineer’s letter dated March 11, 2016.

2. The applicant shall enter into an Improvements Agreement with the Township and provide appropriate security, if deemed necessary by the Township.
3. The applicant shall enter into a Maintenance Agreement with the Township and provide appropriate security, if deemed necessary by the Township.
4. The applicant shall enter into a Stormwater Management and Maintenance Agreement with the Township, if deemed necessary by the Township.
5. The applicant shall pay all necessary fees associated with the Plan, including but not limited to any outstanding plan account charges and all professional services fees, prior to the recording of the Plan.
6. The applicant shall obtain all required permits and approvals from other governmental and regulatory agencies prior to presenting the Plan for signatures.
7. The applicant shall provide three (3) mylars for recording the plans and eight (8) sets of paper prints which are signed and notarized by the owner and sealed by the engineer.
8. The applicant shall meet all conditions of the plan approval, and Plan shall be recorded within twelve (12) months of Conditional Plan approval, and agrees that if such conditions are not met, the Conditional Plan approval will be considered void.
9. The applicant shall accept these conditions in writing within five (5) days of receipt of the Board of Commissioners Resolution, otherwise the Plan is denied.

**RESOLVED** at a duly constituted meeting of the Board of Commissioners of the Township of Pocono the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

ATTEST:

Township of Pocono  
Board of Commissioners

By: \_\_\_\_\_  
Print Name: Pamela Finkbeiner  
Title: Secretary

By: \_\_\_\_\_  
Print Name: Thomas Felver  
Title: President



Borton  
Lawson

ENGINEERING  
ARCHITECTURE

February 8, 2016

Pocono Township Commissioners  
P.O. Box 197  
112 Township Drive  
Tannersville, PA 18372

RE: Sanofi Pasteur, Inc. – Request for Rezoning  
Pocono Township, Monroe County, PA

BL No.: 2015-1528-015

Dear Commissioners:

On behalf of Sanofi Pasteur, we are submitting a formal request to the Board of Commissioners to the rezoning of a portion of two (2) parcels (PIN #'s 12-6374-01-17-7161 and 12-6374-01-26-5585) owned by Sanofi Pasteur, Inc. from R-1:Residential to I:Industrial. A portion of the current zoning map, which highlights the referenced parcels, is enclosed (EX-1).

The two (2) parcels, located to the east of the existing main campus parcel and consist of undeveloped woodlands. Approximately 23.9 acres of land from these parcels are requested to be rezoned as shown in the attached "Rezoning Exhibit" (EX-2). A lot line adjustment plan has been submitted to the Township to consolidate these 23.9 acres into the overall main campus parcel.

Sanofi Pasteur, Inc. would like to be placed on an upcoming Board of Commissioner's meeting for consideration and further discussion.

If you have any questions, please do not hesitate to contact me at (484) 821-0470 ext. 2105.

Sincerely,

Aaron M. Sisler, P.E.  
Project Manager

RECEIVED  
FEB 10 2016

POCONO TOWNSHIP

Enclosure(s)  
AMS/dth

c: File

Bethlehem  
Harrisburg  
Pittsburgh  
State College  
Wilkes-Barre

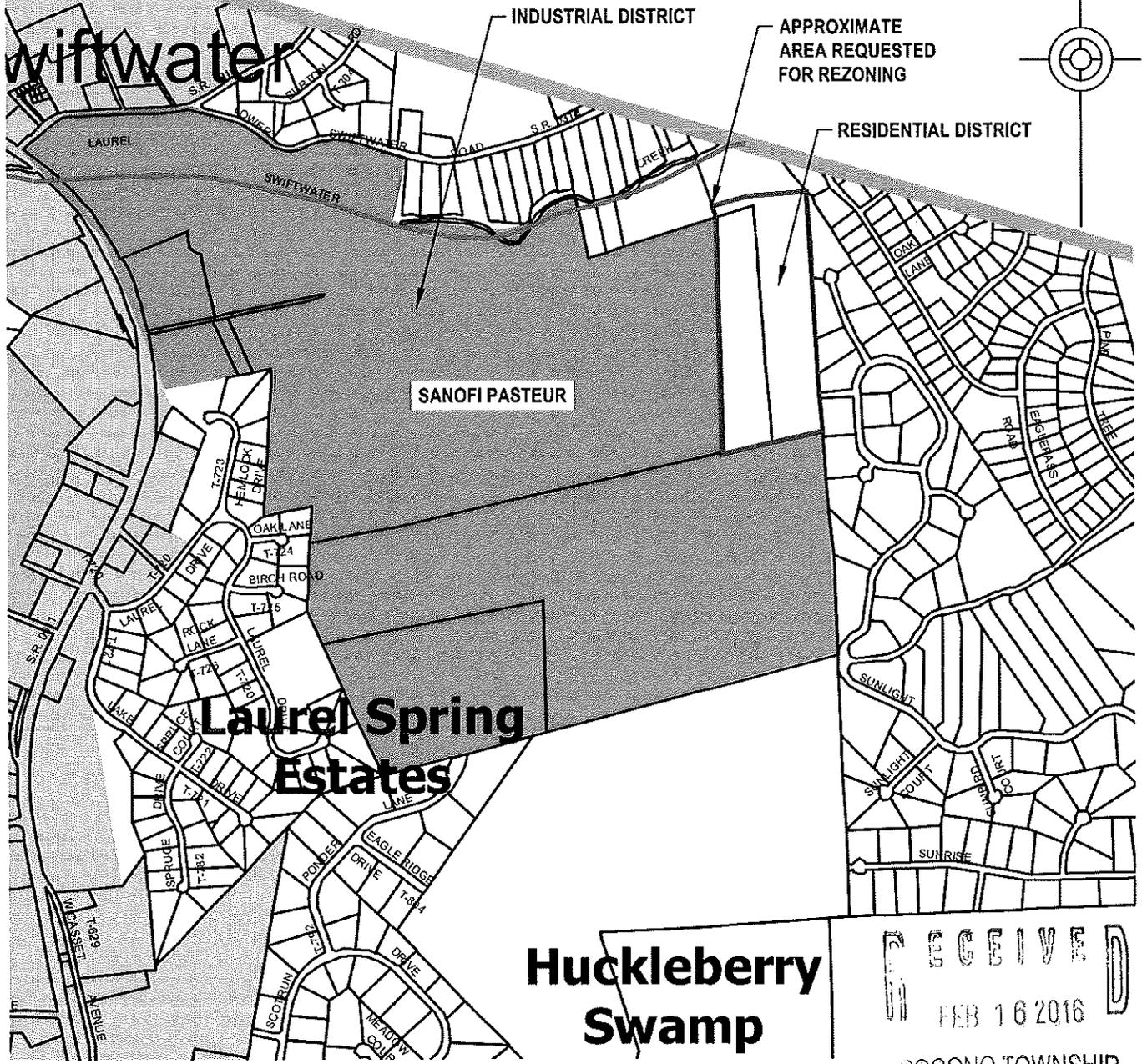
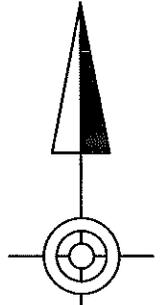
BETHLEHEM

3897 Adler Place  
Bethlehem, PA 18017

Phone: 484.821.0470

Fax: 484.821.0474

PARADISE TOWNSHIP



RECEIVED  
 FEB 16 2016  
 POCONO TOWNSHIP

	DRAWING TITLE & PROJECT NAME	DRAWN BY	MRB	
	<b>CURRENT TOWNSHIP ZONING</b>		DATE	2/8/2016
	SANOFI PASTEUR INC REZONING REQUEST		PROJECT NUMBER	2015-1528-015
	POCONO TOWNSHIP, MONROE COUNTY, PENNSYLVANIA		DRAWING NUMBER	<b>EX1</b>

Client: Pocono Township Municipal & Pocono Township PD

Date: December 14, 2015

Address Tannersville, PA

Prep'd by: Steven R. Gilboy

Qty	Description	Unit Price	Equipment	Install/ Setup Labor
<b>SEPARATE SERVERES (MUNICIPAL AND POLICE)</b>				
2	<b>Dell PowerEdge T430</b> - Intel Xeon E5-2630v3 2.4 GHz, 8 Core, 32GB Memory (2x16GB), 1600Mhz, PERC H730P RAID controller, 3x1TB SATA HDD w/ RAID 5, Dual Redundant 1100w Hot-Swappable PSU, Server 2012r2 w/ 15 User CALs. 5-year 5x10 HW Warranty \$4,279	\$4,279.00	\$8,558.00	
1	Sonicwall TZ300 w/ 3 year warranty & Comprehensive Gateway Security Suite (police)	\$999.00	\$999.00	
1	<b>Remote Desktop Services User CALs - 10ct (police)</b>	\$529.00	\$529.00	
1	<b>Sonicwall SSL-VPN licenses - 10ct (police)</b>	\$329.00	\$329.00	
2	<b>Rackmount Gigabit Switches (police)</b>	\$179.00	\$358.00	
	<b>Consulting Labor (Servers)</b> - Set up new servers (either 2 physical and 1 virtual terminal server). Migrate all existing data from both Township and PD server environments. Set up terminal server & configure for JNET. Migrate Police on-premise Exchange to Township's Office 365 (Based on 19 users - township can expect approx. \$70/month increase in O365 charges). Install and configure sonicwall.			\$4,120.00
			<i>(equipment)</i>	<i>(labor)</i>
	<b>TOTAL EQUIPMENT AND LABOR (BREAK DOWN)</b>		\$10,773.00	\$4,120.00
	<b>Sales Tax (6%)</b>		Exempt	Exempt
	<b>TOTAL ESTIMATE</b>		----->	<b>\$14,893.00</b>

As a representative for above mentioned client, we agree to the above estimate and authorize Sundance Networks, Inc. to complete the work.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print Name, Position

\_\_\_\_\_  
Date

Labor to set-up and install equipment is estimated and may vary based on additional requests. Equipment prices may vary by 5%. Sales tax not included. All equipment & software carries a warranty provided by the manufacturer. Dell Equipment carries a 1 year limited warranty unless otherwise noted. Sundance Networks, Inc. does not provide warranty on any parts or labor. All equipment & parts will be invoiced net 20 days. Labor will be invoiced net 30 day terms. Client agrees to payment terms. All estimates are good for 30 days from the date above. Additional needs added upon request. A new estimate can be provided upon request. On-going maintenance or support provided upon request.

~ **CONFIDENTIAL** ~

# Sundance Networks Inc.

## Estimate

811 Ann St. • Stroudsburg, PA 18360 • support@sundancenetworks.com • sundancenetworks.com • 570.476.1320

Client: Pocono Township Police

Date: November 10, 2015

Address: Tannersville, PA

Prep'd by: Steven R. Gilboy

Qty	Description	Unit Price	Equipment	Install/ Setup Labor
1	Server 2008r2 down grade S Server 2008r2 down grade w 5x user als Dual Redundant 1100 Power Su l Rack mount kit. 5 ear Standard 5x10 arrant	10 12 .	10 12 .	
	Additional P 1500 after acku or server 1 additional			
	Additional De ender mana er antivirus ased on itde ender 2 com uter month			
1	bi uiti outdoor 5 ireless ccess Point	1 .	1 .	
	onsultin labor on i ure R D arra s. nstall S on SSD s arra . nstall S . ount server in rack oin to domain. ork w atch uard ssumed hours o workin with watch uard .			700.00
	<b>Note: Deposit of \$8,000 required.</b>		(equipment)	(labor)
	T T P NT ND R R D N		10 27 . 8	700.00
	Sales Tax 6%		xem t	xem t
	<b>TOTAL ESTIMATE</b>		---->	<b>\$10,979.98</b>

As a representative for above mentioned client, we agree to the above estimate and authorize Sundance Networks, Inc. to complete the work.

Signature \_\_\_\_\_

Print Name, Position \_\_\_\_\_

Date \_\_\_\_\_

Labor to set-up and install equipment is estimated and may vary based on additional requests. Equipment prices may vary by 5%. Sales tax not included. All equipment & software carries a warranty provided by the manufacturer. Dell Equipment carries a 1 year limited warranty unless otherwise noted. Sundance Networks, Inc. does not provide warranty on any parts or labor. All equipment & parts will be invoiced net 20 days. Labor will be invoiced net 30 day terms. Client agrees to payment terms. All estimates are good for 30 days from the date above. Additional needs added upon request. A new estimate can be provided upon request. On-going maintenance or support provided upon request.

~ CONFIDENTIAL ~

## Gregg Schuster

---

**From:** Jeffrey Clapper  
**Sent:** Friday, February 26, 2016 9:25 AM  
**To:** Gregg Schuster  
**Cc:** Kent Werkheiser  
**Subject:** FW:  
**Attachments:** 20160226081833772.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Gregg-

Please present the attached sketch and supporting information contained in this email to the BOC for their comments and hopefully, an approval to proceed.

I estimated the development expenses for this site to be \$ 25,000, which is included in the 2016 Township Budget. These expenses were to install fencing around the site, build a few storage bins for road materials, construct a police impound yard and install PPL area lighting. The current estimate for these improvements will exceed the budgeted amount by approximately \$ 3,000. This is due to enlarging the police impound and the addition of a sliding gate into this area. These revisions were included after the original project estimate was prepared. I request the additional funds be approved for these improvements and that the BOC grant me the permission to proceed with the work.

Recently, the police chief requested an electric gate be installed between the buildings. The cost for this gate is approximately \$ 20,000.

Jeff

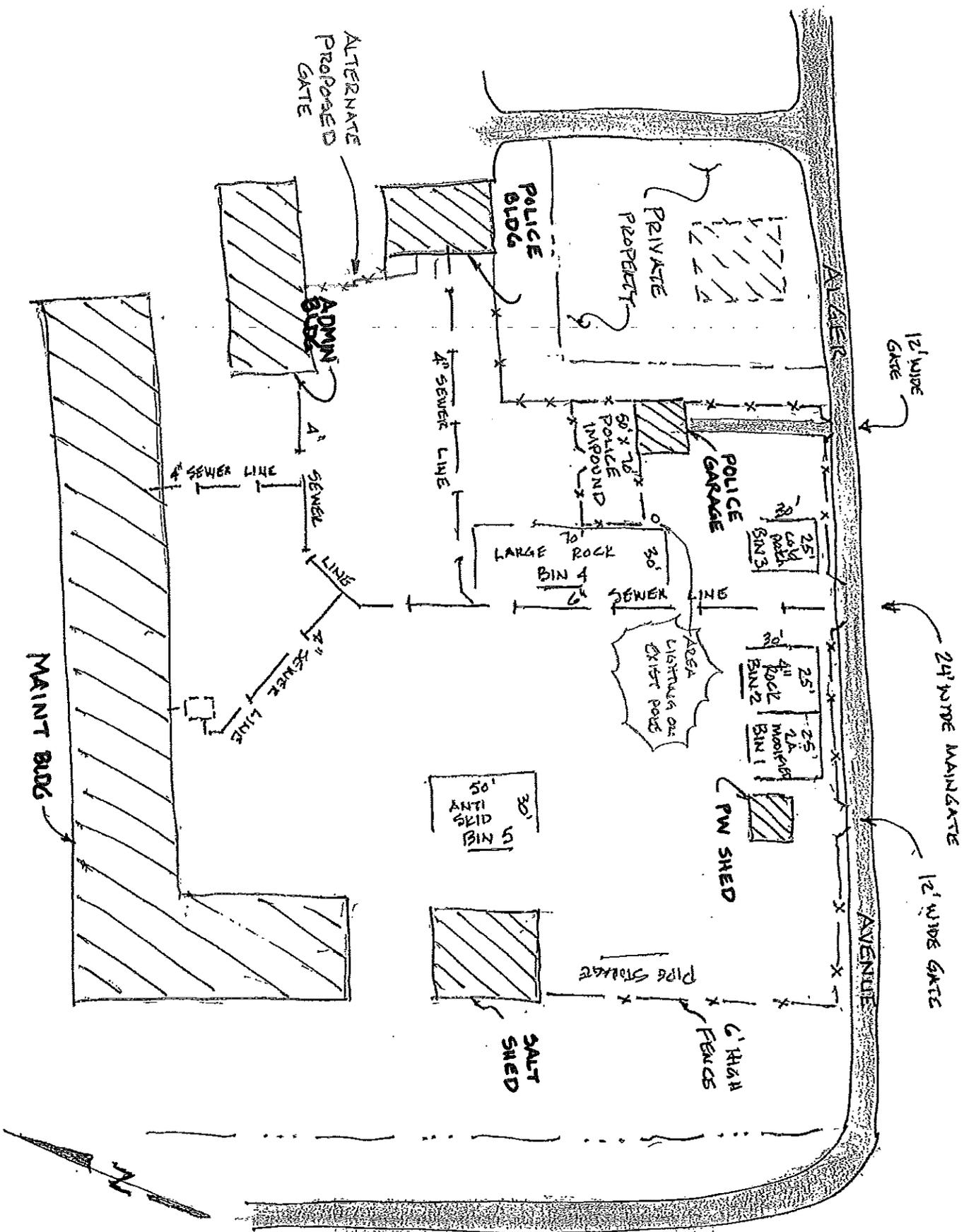
Jeffrey D. Clapper  
Pocono Township  
Public Works Director  
484-553-3336 cell  
570-629-1922 x 217 office

-----Original Message-----

From: scan@keystonebp.com [mailto:scan@keystonebp.com]  
Sent: Friday, February 26, 2016 8:19 AM  
To: Jeffrey Clapper <jclapper@poconopa.gov>  
Subject:

This E-mail was sent from "RNPC6014C" (MP C3000/LD430c).

Scan Date: 02.26.2016 08:18:33 (-0500)  
Queries to: scan@keystonebp.com



MAINT BLDG

ALTERNATE PROPOSED GATE

POLICE BLDG

PRIVATE PROPERTY

ADMIN BLDG

4" SEWER LINE

50' x 70' POLICE IMPOUND

POLICE GARAGE

LARGE ROCK BIN 4

SEWER LINE

AREA LIGHTING ON EXIST POLE

PW SHED

PIPE STORAGE

SALT SHED

6' HIGH FENCES

25' x 25' CABINETS BIN 3

25' x 25' 4A TOOL BIN 2

25' x 25' 2A MOTOR BIN 1

50' x 30' ANTI SKID BIN 5

12' WIDE GATE

24' WIDE MAIN GATE

12' WIDE GATE

ALDER

AVENUE



LAW OFFICES  
BROUGHAL & DEVITO, L.L.P.

38 WEST MARKET STREET  
BETHLEHEM, PENNSYLVANIA 18018-5703

JAMES L. BROUGHAL  
LEO V. DEVITO, JR.  
JOHN S. HARRISON  
JAMES F. PRESTON\*  
WENDY A. NICOLosi  
LISA A. PEREIRA\*

\*ALSO MEMBER NEW JERSEY BAR

TELEPHONE  
(610) 865-3664  
FAX  
(610) 865-0969  
E-MAIL  
lawyers@broughal-devito.com  
WEBSITE  
www.broughal-devito.com

March 22, 2016

**VIA EMAIL AND CERTIFIED MAIL**  
**RETURN RECEIPT REQUESTED**

Patricia Meadus, Legal Clerk  
Pocono Mountains Media Group  
511 Lenox Street  
Stroudsburg, PA 18360

**RE: *Pocono Township- Advertisement of Legal Notice***  
***Ordinance: BCRA – Water Service Area***

Dear Ms. Meadus:

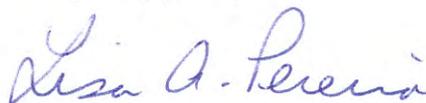
With respect to the above matter, enclosed please find a Legal Notice to be advertised one (1) time in your periodical on ***Friday, March 25, 2016.***

Please send proof of publication and the invoice to:

Pam Finkbeiner, Township Secretary  
112 Township Drive  
PO Box 197  
Tannersville, PA 18372

Also, enclosed is a certified copy of the proposed Ordinance for your records only (**not to be advertised**). Should you have any questions, please do not hesitate to contact me. Thank you for your assistance in this matter.

Very truly yours,



Lisa A. Pereira

Enclosures

cc: Gregg Schuster, Township Manager (Via Electronic Mail, w/encl.)  
Pam Finkbeiner, Township Secretary

## LEGAL NOTICE

NOTICE is hereby given that the Board of Commissioners of Pocono Township, Monroe County, Pennsylvania, will consider for adoption at a Public Meeting to be held at 7:00 p.m. on the 4<sup>th</sup> day of April, 2016, at the Pocono Township Municipal Building, 112 Township Drive, Tannersville, Pennsylvania 18372, an Ordinance (I) extend, establish, and reaffirm the Brodhead Creek Regional Authority (the "Authority") Water Service Area for the provision of public water to designated portions of Pocono Township; (II) affirm that the provisions of Ordinance No. 118, dated November 21, 2005 (Mandatory Connections) shall apply to all designated areas in which the Authority has constructed water distribution mains; (III) authorize the doing of all things necessary and appropriate to effectuate and establish said Ordinance; (IV) provide for the severability of the provisions of said Ordinance; (V) repeal or rescind all ordinances or resolutions, or parts thereof, which are inconsistent herewith; and (VI) establish the effective date of the Ordinance.

Copies of the proposed Ordinance are available for review at the Pocono Township Municipal Building located at 112 Township Drive, Tannersville, Pennsylvania 18372, during normal business hours.

Leo V. DeVito, Jr., Solicitor  
Pocono Township  
38 West Market Street  
Bethlehem, PA 18018

BOARD OF COMMISSIONERS  
OF THE TOWNSHIP OF POCONO  
MONROE COUNTY, PENNSYLVANIA

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE OF THE TOWNSHIP OF POCONO, MONROE COUNTY, PENNSYLVANIA, TO: I) EXTEND, ESTABLISH, AND REAFFIRM THE BRODHEAD CREEK REGIONAL AUTHORITY (THE "AUTHORITY") WATER SERVICE AREA FOR THE PROVISION OF PUBLIC WATER TO DESIGNATED PORTIONS OF POCONO TOWNSHIP; II) AFFIRM THAT THE PROVISIONS OF ORDINANCE NO. 118, DATED NOVEMBER 21, 2005 (MANDATORY CONNECTIONS) SHALL APPLY TO ALL DESIGNATED AREAS IN WHICH THE AUTHORITY HAS CONSTRUCTED WATER DISTRIBUTION MAINS; III) AUTHORIZE THE DOING OF ALL THINGS NECESSARY AND APPROPRIATE TO EFFECTUATE AND ESTABLISH SAID ORDINANCE; IV) PROVIDE FOR THE SEVERABILITY OF THE PROVISIONS OF SAID ORDINANCE; V) REPEAL OR RESCIND ALL ORDINANCES OR RESOLUTIONS, OR PARTS THEREOF, WHICH ARE INCONSISTENT HERewith; AND VI) ESTABLISH THE EFFECTIVE DATE OF THE ORDINANCE.

**WHEREAS**, the Borough of Stroudsburg, Monroe County ("**Stroudsburg**") incorporated the Stroudsburg Municipal Authority (the "**Authority**") in 1953 under the Municipality Authorities Act (the Act of the General Assembly of the Commonwealth of Pennsylvania, approved May 2, 1945, P.L. 382, as continued by an Act of the General Assembly of the Commonwealth of Pennsylvania approved June 19, 2001, P.L. 22 (53 Pa. Cons. Stat. §§5601, *et seq.*)) (the "**Act**") in order to construct, own, and operate a municipal water system to serve Stroudsburg; and

**WHEREAS**, the Articles of Incorporation of the Authority were filed with the Secretary of the Commonwealth of Pennsylvania on November 30, 1953, and were amended in 1968, 1984, 2005, and 2010, to extend the term of the existence of the Authority; and

**WHEREAS**, the governing boards of Stroudsburg, Stroud, Smithfield, and the governing boards of the Township of Pocono and the Township of Hamilton, all of Monroe County, entered into an Intermunicipal Cooperation Agreement, dated as of July 1, 2005 (the "**Cooperation Agreement**") in order to convert the Authority into a joint authority by adding Stroud, Smithfield, Pocono, and Hamilton as members and co-owners, along with Stroudsburg

(collectively the “**Member Municipalities**”), of the joint authority in accordance with the Act. Pocono approved the Cooperation Agreement in Ordinance No. 116, dated July 1, 2005; and

**WHEREAS**, Section 4.2 of the 2005 Cooperation Agreement established portions of each municipality as the Brodhead Creek Water System Service Area (the “**Water Service Area**”) as was shown on Exhibit E thereof. Additionally, Exhibit E-2 specifically delineated the Pocono water service area; and

**WHEREAS**, Section 4.2 of the 2005 Cooperation Agreement authorized the expansion of the Water Service Area within any Member Municipality upon approval of the Member Municipality in which the expansion was to occur; and

**WHEREAS**, the Member Municipalities and the Authority entered into an Amended and Restated Intermunicipal Cooperation Agreement (the “**Amended and Restated ICA**”), dated May 1, 2010; and

**WHEREAS**, Pocono authorized the execution of the Amended and Restated ICA by Ordinance No. 144, dated May 3, 2010; and

**WHEREAS**, Section 6.3.1 of the Amended and Restated ICA restated the original provisions of the Cooperation Agreement regarding the Water Service Area established by the Member Municipalities collectively in Exhibit E and specifically as Exhibit E-2, the map delineating the Authority Water Service Area located in Pocono; and

**WHEREAS**, Section 6.3.1 of the Amended and Restated ICA restated that the Authority Water Service Area collectively designated in Exhibit E could be expanded by approval of the Member Municipality in which the expansion is to occur; and

**WHEREAS**, Section 6.4.1 of the Amended and Restated ICA mandates that any area designated by a Member Municipality as a water service area must be exclusive to the Authority; and

**WHEREAS**, the Member Municipalities and the Authority executed a First Supplement to the Amended and Restated Intermunicipal Cooperation Agreement (the “**First Supplement**”), dated as of November 1, 2010; and

**WHEREAS**, the First Supplement to the Amended and Restated ICA did not alter Section 6.3.1, Section 6.41, Exhibit E, or Exhibit E-2 of the Amended and Restated ICA; and

**WHEREAS**, on January 1, 2014, Pocono altered its form of governance from a Second Class Township to that of a First Class Township under the First Class Township Code, Act of June 24, 1931, P.L. 1206, No. 331, Art. I, §101, as amended by Act of May 27, 1949, P.L. 1955, §1, 53 P.S. §§55101, *et seq.*; and

**WHEREAS**, the Authority has requested that Pocono authorize an expansion of the Authority Water Service Area to include all areas highlighted on page 1 of a map entitled, "Proposed BCRA Pocono Township Water Service Area Amendment," Dated October 15, 2014, prepared by RKR Hess, a division of UTRS; and

**WHEREAS**, the area in which the Authority desires to expand public water service is designated as an area of future public water service for the Authority in all Authority water allocation Permits and Dockets, as well as in the Cooperation Agreement and the Amended and Restated ICA; and

**WHEREAS**, Pocono passed Ordinance No. 118, dated November 21, 2005, requiring mandatory connection to the Authority water distribution main by abutting, existing buildings or new construction which mandatory connection Ordinance is authorized pursuant to §2708 of the "First Class Township Code, as amended, Act of December 10, 1970, P.L. 907, No. 283; and

**WHEREAS**, Section 6.7.1 of the Amended and Restated ICA requires a Member Municipality to pass a uniform mandatory connection ordinance which, in part, shall require any building with two hundred (200') feet of the Authority water lines, including residential properties, to connect to the Authority water system; and

**WHEREAS**, Pocono is desirous of granting the Authority's request to expand its Water Service Area and to affirm that Ordinance No. 118, dated November 21, 2005, (mandatory connections) shall apply to the new Water Service Area of expansion; and

**WHEREAS**, Pocono deems it to be in its best interests, and for the general welfare and safety of the citizens and residents of Pocono to cooperate with the Authority to implement a solution to the water needs of Pocono; and

**WHEREAS**, the Intergovernmental Cooperation Act of December 19, 1976, P.L. 1158, No. 177, as amended, codified at 53 Pa. Cons. Stat. §§2301, *et seq.*, provides that two (2) or more local governmental entities in the Commonwealth of Pennsylvania may jointly cooperate in the exercise or performance of their respective governmental functions, powers or responsibilities; and

**WHEREAS**, Section 1502(52) of the First Class Township Code, 53 P.S. §56552, entitled "General Powers," authorizes Pocono to make and adopt ordinances necessary for the proper management, care, and control of Pocono, and the maintenance of peace, good government, and welfare of Pocono and its citizens; and

**WHEREAS**, Section 1502(53) of said First Class Township Code, 53 P.S. §56553, entitled, "Joint Municipal Agreements," authorizes Pocono by Ordinance to make agreements

with other municipal corporations in performing governmental powers, duties, and functions, and in carrying into effect the provisions of said Intergovernmental Cooperation Law; and

**WHEREAS**, Section 1502(14) of the First Class Township Code, found at 53 P.S. §56514, entitled, “Water Supplies,” and in Sections 2701 to 2712 of the First Class Township Code, entitled “Water Supply and Water Works, found at 53 P.S. §§55701-55712, authorizes Pocono to establish and construct water works systems either in its own capacity or in cooperation with other municipal entities; and

**WHEREAS**, Section 2701 of the First Class Township Code, found at 53 P.S. §55701, entitled, “Contracts with Water Companies and Municipality,” authorizes Pocono to make contracts with other municipal corporations, corporations or persons to provide public water service through water delivery lines located in Pocono; and

**WHEREAS**, Section 2708 of the First Class Township Code, found at 53 P.S. §55708, entitled, “Connections to Water Systems of Municipality Authorities,” authorizes Pocono to enact an ordinance which requires all property owners to connect to and use the water distribution system of the township, a municipal authority or a joint water board; and

**WHEREAS**, Pocono has the legal authority (as provided by the First Class Township Code) to enact ordinances for Pocono.

**NOW, THEREFORE, BE IT ENACTED AND ORDAINED** by the Board of Commissioners of the Township of Pocono, Monroe County, Pennsylvania, **AND IT IS HEREBY ENACTED AND ORDAINED** by the authority of the same as follows:

Section 1. The recitals set forth in this Ordinance are hereby incorporated and approved as part hereof.

Section 2. The Board of Commissioners of the Township of Pocono hereby grants the Authority, the right to provide exclusive Public Water Service Area in the area of Pocono as follows:

(a) The Brodhead Creek Regional Authority’s exclusive Water Service Area in Pocono Township shall consist of those highlighted portions of Pocono Township identified on a map “Proposed BCRA Pocono Township Water Service Area Amendment,” Dated October 15, 2014, prepared by RKR Hess, a division of UTRS, a copy of which is **attached**. The pink highlight denotes the area of the existing Water Service Area in Pocono Township, while the purple highlight denotes the area for the expanded Water Service Area.

Section 3. The provision of Ordinance No. 118, dated November 21, 2005 (mandatory connections) shall apply to all properties located in both the existing and expanded area of water service as approved herein.

Section 4. The proper officers of Pocono are hereby authorized and directed to join with the proper officers of the Authority to do, execute, and perform any and all acts and things necessary or appropriate to effectuate said expansion of the exclusive Authority Water Service Area as set forth herein.

Section 5. If any sentence, clause, section or part of this Ordinance is, for any reason, found to be unconstitutional, illegal or invalid, such unconstitutionality, illegality or invalidity shall not affect or impair any remaining provisions, sentences, clauses, sections or parts of this Ordinance. It is hereby declared as the intent of the Board that such remainder shall be and shall remain in full force and effect.

Section 6. All ordinances and resolutions, and parts hereof, inconsistent herewith are hereby repealed or rescinded, but only insofar as the same are in direct conflict or directly inconsistent with this Ordinance.

Section 7. This Ordinance shall take effect five (5) days after enactment.

**ORDAINED AND ENACTED** into an Ordinance at a meeting of the Board of Commissioners of the Township of Pocono, Monroe County, Pennsylvania, this \_\_\_\_ day of \_\_\_\_\_, 2016.

TOWNSHIP OF POCONO

ATTEST:

By: \_\_\_\_\_  
Pamela Finkbeiner, Secretary

By: \_\_\_\_\_  
Thomas Felver, President

(TOWNSHIP SEAL)



**CERTIFICATION**

**I HEREBY CERTIFY** that the foregoing is a true and correct copy of Ordinance No. \_\_\_\_\_ in respect to the expansion of the Water Service Area in Pocono Township for the Brodhead Creek Regional Authority and affirming that Ordinance No. 118, dated November 21, 2005 (mandatory connections) applies to all properties located in areas designated as Brodhead Creek Regional Authority water service areas, duly enacted by the majority vote of all the members of the Board of Commissioners of the Township of Pocono, Monroe County, Pennsylvania, at a meeting of said Board duly held \_\_\_\_\_, 2016, at which time the following members of the Board were present:

and the voting on said Ordinance was as follows:

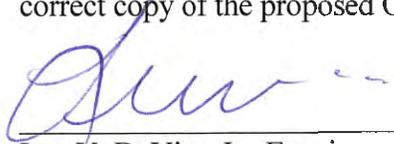
and that said Ordinance has been duly advertised and recorded in the Ordinance book of Pocono Township and that the minutes of said meeting showing how each member of the Board voted have been duly recorded in the official minutes of Pocono Township.

**IN WITNESS WHEREOF**, I have hereunto set my hand and seal of the Township of Pocono has been affixed this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Secretary

(TOWNSHIP SEAL)

I hereby certify that the within is a true and correct copy of the proposed Ordinance in this matter.

A handwritten signature in blue ink, appearing to read "Leo V. DeVito, Jr.", written over a horizontal line.

Leo V. DeVito, Jr., Esquire  
Solicitor  
Pocono Township, Monroe County

**TOWNSHIP OF POCONO, MONROE COUNTY,  
PENNSYLVANIA**

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION APPROVING AN AGREEMENT WITH TRIJAY**

**WHEREAS**, Pocono Township desires to enter into an agreement with TRIJAY for the provision of sewer system maintenance services; and

**WHEREAS**, TRIJAY agrees to guarantee a level of services as specified in the agreement; and

NOW, THEREFORE, BE IT ADOPTED AND RESOLVED that the agreement with TRIJAY be accepted and approved.

**RESOLVED** at a duly constituted meeting of the Board of Commissioners of the Township of Pocono the 4<sup>th</sup> day of April, 2016.

ATTEST:

Township of Pocono  
Board of Commissioners

By: \_\_\_\_\_  
Print Name: Pamela Finkbeiner  
Title: Secretary

By: \_\_\_\_\_  
Print Name: Tom Felver  
Title: President



TRIJAY SYSTEMS INC.

10 Maple Avenue • P.O. Box 109  
Line Lexington, PA 18932  
215.997.5833 • Fax 215.997.5834

POCONO TOWNSHIP  
112 Township Drive  
Tannersville, PA 18372

11 March 2016

Attention: Jeff Clapper - Superintendent  
Reference: Preventative Maintenance Proposal

Mr. Clapper:

This Proposal provides pricing for the above referenced and includes the following:

- 1) Twenty-Four (24) hours of answering service with technician phone responses to calls for service.
- 2) Documentation modifications to TRIJAY documentation resulting from preceding answering service.
- 3) Guaranteed response time to a system failure within twenty-four (24) hours during normal work week; or next working business day.
- 4) See below for Field Service Rates.

VALIDITY OF PROPOSAL:

All prices quoted herein are valid for a period of thirty (30) days from the date of this Proposal and will run for one (1) year from date of acceptance.

TERMS OF PAYMENT:

Full payment thirty (30) days from date of invoice. Invoices will be issued quarterly with first payment due on date of acceptance.

**TOTAL PRICE.....\$ 2,400.00/YEAR**

RATES

- 1) Jobsite Service Calls during Normal Hours will be billable at \$ 125.00/Hour with a four (4) hour minimum (Portal-to-Portal). Response required outside of Normal Hours (including Weekends and Holidays) will be billed at \$ 200.00/Hour with an eight (8) hour minimum.
- 2) Material will be billed at delivered cost plus twenty (20)% mark-up. State Tax will be added unless a valid Tax Exemption Certificate is made available.
- 3) Lodging and living expenses (when required) will be reimbursable at cost.

NOTE: Normal Hours are between 7:30 AM and 4:00 PM, Monday through Friday, excluding Holidays.

Should you have any questions or wish to discuss further, I would be only too happy to hear from you.

Regards,

James Arevalo

TRIJAY Systems, Inc.



TRIJAY SYSTEMS INC.

10 Maple Avenue • P.O. Box 109  
Line Lexington, PA 18932  
215.997.5833 • Fax 215.997.5834

POCONO TOWNSHIP  
112 Township Drive  
Tannersville, PA 18372

11 March 2016

Attention: Jeff Clapper - Superintendent  
Reference: Fee Schedule

Mr. Clapper:

As requested, this document provides the Fee Schedule as follows:

Onsite Service Rates:

Monday-Friday 7:30 AM to 4:30 PM): \$ 125.00/Hour (Portal-to-Portal) (Four (4) Hour Minimum)  
After Hours/Weekends/Holidays: \$ 200.00/Hour (Portal-to-Portal) (Eight (8) Hour Minimum)

Phone Support:

\$ 65.00/Hour

Should you have any questions or wish to discuss further, I would be only too happy to hear from you.

Regards,

James Arevalo

TRIJAY Systems, Inc.

**TOWNSHIP OF POCONO, MONROE COUNTY,  
PENNSYLVANIA**

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION APPROVING AN AGREEMENT WITH POCONO  
MOUNTAIN REGIONAL POLICE**

**WHEREAS**, Pocono Township desires to enter into an agreement with the Pocono Mountain Regional Police Department for the provision of special duty services; and

**WHEREAS**, Pocono Mountain Regional Police Department agrees to provide said services at no cost to Pocono Township; and

NOW, THEREFORE, BE IT ADOPTED AND RESOLVED that the agreement with Pocono Mountain Regional Police Department be accepted and approved.

**RESOLVED** at a duly constituted meeting of the Board of Commissioners of the Township of Pocono the 4<sup>th</sup> day of April, 2016.

ATTEST:

Township of Pocono  
Board of Commissioners

By: \_\_\_\_\_  
Print Name: Pamela Finkbeiner  
Title: Secretary

By: \_\_\_\_\_  
Print Name: Tom Felver  
Title: President

## **POLICE DEPARTMENT COOPERATION AGREEMENT**

The parties to this Agreement are Pocono Township and Pocono Mountain Regional Police Commission and relates to cooperation between the Pocono Township Police Department (“Pocono Township Police”) and the Pocono Mountain Regional Police Department (“Pocono Regional Police”). The date of this Agreement is \_\_\_\_\_, 2016.

WHEREAS, the Crossings Mall is within Pocono Township Police’s jurisdiction; and

WHEREAS, Pocono Regional Police is located closely enough to be able offer assistance in dealing with special details which arise from time to time at the Crossings Mall; and

WHEREAS, Pocono Regional Police is willing to provide patrol, assistance and cooperation to Pocono Township Police, at no charge to Pocono Township, during special events at the Crossings Mall (“Special Details”); and

WHEREAS, Pocono Township Police requested and wish to receive cooperational assistance from Pocono Regional Police to patrol during Special Details which arise at the Crossings Mall; and

WHEREAS, local governmental entities located in the Commonwealth of Pennsylvania are authorized to cooperate in providing services pursuant to 53 Pa. C.S.A. PA ST Pt. III, Subpt D., Ch. 23, § 2303, which provides as follows:

(a) General rule. – Two or more local governments in this Commonwealth may jointly cooperate with any similar entities located in any other state, in the exercise or in the performance of their respective governmental functions, powers, or responsibilities.

(b) Joint agreements. – For the purpose of carrying the provisions of this subchapter into effect, the local governments or other entities so cooperating shall enter into any joint agreements as may be deemed appropriate for those purposes.

WHEREAS, the First Class Township Code, 53 Pa. C.S.A. § 56554 authorizes First Class

Townships as follows:

**Joint contracts for police and fire protection**

To enter into contracts with the proper authorities of, near or adjacent cities, boroughs, and townships either for mutual aid or assistance in police and fire protection, or for furnishing to or receiving from such cities, boroughs, or townships aid and assistance in police and fire protection, and to make appropriations therefor: Provided, That in connection with such contracts it shall not be necessary to receive bids or require bonds as required for other contracts under existing law.

WHEREAS, the Municipal Police Jurisdiction Act, 42 Pa. C.S.A. § 8953, provides as

follows:

**(a) General rule.** – Any duly employed municipal police officer who is within this Commonwealth, but beyond the territorial limits of his primary jurisdiction, shall have the power and authority to enforce the laws of this Commonwealth or otherwise perform the functions of that office as if enforcing those laws or performing those functions within the territorial limits of his primary jurisdiction in the following cases:

\*\*\*

(3) Where the officer has been requested to aid or assist any local, State or Federal law enforcement officer or park police officer or otherwise has probable cause to believe that the other officer is in need of aid or assistance.

(4) Where the officer has obtained the prior consent of the chief law enforcement officer, or a person authorized by him to give consent, of the organized law enforcement agency which provides primary police services to a political subdivision which is beyond that officer's primary jurisdiction to enter the other jurisdiction for the purpose of conducting official duties which arise from official matters within his primary jurisdiction.

\*\*\*

**(e) Existing and future municipal police service agreements preserved.** – Nothing in this section shall be construed to restrict the authority of any municipality to maintain current or to enter into new cooperative service agreements with another municipality or municipalities for purposes including, but not limited to, describing conditions of mutual aid, assigning liability and determining costs of these cooperative efforts.

WHEREAS, the local government entities signing this Agreement are geographically located in proximity to each other and are both located in Monroe County, Pennsylvania; and

WHEREAS, the local government entities signing this Agreement determined that it is to their mutual benefit and in the mutual best interest of their respective communities to furnish and receive supplemental police services as set forth in this Agreement.

NOW, THEREFORE, in consideration of their mutual covenants, the power conferred upon them by law, and the desire to benefit their respective citizens, and intending to be legally bound, the local government entities signing this Agreement agree as follows:

1. Pocono Regional Police shall furnish police detail coverage, when requested by the Pocono Township Police Chief, for special events at the Crossings Mall.
2. When the Pocono Township Police Chief requests aid or assistance from Pocono Regional Police for detail coverage for special events at the Crossings Mall, the Police Chief thereby confers upon the law enforcement officers of Pocono Regional Police who are assigned the duty, all the authority and powers provided by law for law enforcement officers of Pocono Township Police.

3. Pocono Regional Police shall provide police detail coverage when requested by Pocono Township Police for special events at the Crossings Mall without any charge to Pocono Township.

4. All law enforcement officers of Pocono Regional Police furnishing aid to Pocono Township Police under this Agreement shall, at all times, remain the employees of Pocono Regional Police, where the law enforcement officer has primary jurisdiction and Pocono Regional Police shall, at all times, be responsible for all wages, insurance coverage, and other benefits incident to those officers' employment.

5. Each participating local government shall carry sufficient insurance to protect its officers and/or detectives and further shall indemnify and hold harmless the other participating municipality from the acts of its officers and/or detectives.

6. Either entity signing this Agreement may withdraw from it upon thirty (30) days written notice to the other municipality.

7. This Agreement shall not, in any way, limit municipal police powers authorized by the Municipal Police Jurisdiction Act.

8. This Agreement is pursuant to the laws of the Commonwealth of Pennsylvania and shall at all times incorporate provisions of any new statute either enlarging or diminishing the powers set forth in this Agreement.

9. This Agreement may be signed in counterparts.

IN WITNESS WHEREOF, the undersigned Cooperating Local Government Entities, by their respective Boards of Commissioners, have caused this Agreement to be executed by a duly authorized officer or representative of that local government entity.

ATTEST:

POCONO TOWNSHIP BOARD OF  
COMMISSIONERS

\_\_\_\_\_

By: \_\_\_\_\_

Printed name: \_\_\_\_\_

ATTEST:

POCONO TOWNSHIP REGIONAL  
POLICE COMMISSION

\_\_\_\_\_

By: \_\_\_\_\_

Printed name: \_\_\_\_\_

**TOWNSHIP OF POCONO, MONROE COUNTY,  
PENNSYLVANIA**

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION APPROVING SUPPLEMENTAL APPROPRIATIONS TO THE  
2015 BUDGET**

**WHEREAS**, the Board has, upon mid-year examination and review of the existing 2015 budget, identified unencumbered funds in certain accounts which funds could be used to further the best interests of the Township if transferred to other existing accounts; and

**WHEREAS**, the Board is empowered pursuant to the First Class Township Code to make supplemental appropriations at any time and for any lawful purpose from funds not otherwise appropriated and for items not set forth in the adopted budget; and

**WHEREAS**, the Board is empowered pursuant to the First Class Township Code to transfer, during the last 9 months of each fiscal year, unencumbered funds from one account to another without amending the existing budget.

**WHEREAS**, the supplemental appropriations list for the General Fund and Sewer Operating Fund is attached.

NOW, THEREFORE, BE IT ADOPTED AND RESOLVED that the supplemental appropriations be approved as listed.

**RESOLVED** at a duly constituted meeting of the Board of Commissioners of the Township of Pocono the 4<sup>th</sup> day of April, 2016.

ATTEST:

Township of Pocono  
Board of Commissioners

By: \_\_\_\_\_  
Print Name: Pamela Finkbeiner  
Title: Secretary

By: \_\_\_\_\_  
Print Name: Tom Felver  
Title: President

<b>General Fund</b>					
<b>December 2015 Revised Appropriations</b>					
	<b>Actual</b>	<b>Budget</b>	<b>\$ Over Budget</b>	<b>Adjusted Budget</b>	<b>Appropriation</b>
<b>General Government</b>					
400.110 · Salary & Wages - Legislative	16,250.00	16,250.00	0.00		
400.192 · Legislative SSI Tax	1,243.05	1,243.00	0.05		
400.260 · Minor Equipment	1,314.00	3,000.00	-1,686.00		
400.420 · Dues, Subscriptions & Membershi	825.00	1,516.00	-691.00		
400.460 · Legislaive -Meetings & Training	0.00	1,000.00	-1,000.00		
400.540 · Legislative - Donations	350.00	1,300.00	-950.00		
401.110 · Admin Salaries & Wages	110,413.44	110,000.00	413.44	110,414.00	414.00
401.192 · Admin SSI Taxes	8,454.77	8,415.00	39.77	8,455.00	40.00
401.196 · Admin Health Insurance	24,312.80	25,258.00	-945.20		
401.198 · Non-Uniformed Pension Plan	10,857.64	11,000.00	-142.36		
401.199 · Admin Life and Disability Ins	756.00	760.00	-4.00		
401.200 · Administration Allowances	3,041.55	3,200.00	-158.45		
401.220 · Admin Operating Supplies	0.00	500.00	-500.00		
401.260 · Admin Minor Equipment	922.97	3,000.00	-2,077.03		
401.420 · Admin Dues, Subscriptions & Mem	1,129.66	2,565.00	-1,435.34		
401.460 · Admin Meetings & Training	3,281.59	3,350.00	-68.41		
402.198 · Fin Admin Non-Uni Pension Plan	0.00	0.00	0.00		
402.310 · Fin Admin Professional Svcs	11,899.42	15,000.00	-3,100.58		
403.110 · Tax Collection Salaries & Wages	10,038.58	10,000.00	38.58	10,039.00	39.00
403.192 · Tax Collection SSI Taxes	768.13	765.00	3.13	769.00	4.00
403.215 · Tax Collection Postage	1,606.71	2,000.00	-393.29		
403.220 · Tax Collection Operating Supply	1,823.75	2,000.00	-176.25		
403.310 · Tax Collection Professional Srv	31,632.33	31,000.00	632.33	31,633.00	633.00
403.460 · Tax Collection Meetings & Conf	573.68	625.00	-51.32		
404.310 · Township Solicitor	86,659.04	90,000.00	-3,340.96		
405.110 · Secretary Salaries & Wages	137,521.10	135,529.00	1,992.10	137,522.00	1,993.00
405.120 · Secretary OT	9,545.00	11,000.00	-1,455.00		
405.192 · Secretary SSI Taxes	11,362.08	11,000.00	362.08	11,363.00	363.00
405.196 · Secretary Insurance	61,766.32	70,992.00	-9,225.68		
405.198 · Secretary Non-Uni Pension Plan	13,839.77	13,700.00	139.77	13,840.00	140.00
405.199 · Secretary Life & Disability Ins	2,167.71	2,400.00	-232.29		
405.220 · Secretary Operating Supplies	630.65	1,500.00	-869.35		
405.260 · Secretary Minor Equipment	655.98	3,000.00	-2,344.02		
405.310 · Secretary Professional Svcs	0.00	0.00	0.00		
405.420 · Secretary Dues, Subscriptions	190.00	500.00	-310.00		
405.460 · Secretary Meetings & Training	333.00	500.00	-167.00		
406.215 · Gen Govt Postage	3,809.07	4,000.00	-190.93		
406.220 · Gen Govt Operation Supplies	6,758.38	7,000.00	-241.62		
406.310 · Gen Govt Professional Svcs	5,558.90	6,000.00	-441.10		
406.320 · Gen Govt Communications	7,041.50	10,000.00	-2,958.50		
406.340 · Gen Govt Advertising & Printing	6,118.76	6,500.00	-381.24		
406.374 · Gen Govt Office Equipment Maint	0.00	0.00	0.00		
406.384 · Gen Govt Equipment Leases	2,840.80	5,000.00	-2,159.20		
406.430 · Gen Govt Real Estate Taxes	1,411.34	6,500.00	-5,088.66		
407.252 · Computer Parts & Supplies	0.00	500.00	-500.00		
407.260 · Technology Minor Equipment	0.00	1,000.00	-1,000.00		
407.450 · Contracted Services	17,397.64	18,000.00	-602.36		
408.310 · Township Engineer	54,122.29	85,000.00	-30,877.71	54,123.00	-30,877.00
409.220 · Building Operating Supplies	942.12	1,000.00	-57.88		
409.360 · Building Utilities	24,069.61	27,210.00	-3,140.39		
409.373 · Building Maint & Repairs	16,307.86	16,822.00	-514.14		
409.450 · Building Contracted Services	5,898.11	6,000.00	-101.89		
<b>Public Safety</b>					
410.120 · Police Salaries & Wages-Admin	95,510.20	83,306.00	12,204.20	95,511.00	12,205.00
410.130 · Police Salaries & Wages-Officer	1,104,652.72	1,064,116.00	40,536.72	1,104,653.00	40,537.00
410.140 · Police Salaries & Wages-Civilia	45,087.52	42,192.00	2,895.52	45,088.00	2,896.00
410.179 · Police Longevity Pay	39,669.33	40,794.00	-1,124.67		
410.180 · Police Overtime Wages	154,184.52	150,000.00	4,184.52	154,185.00	4,185.00
410.187 · Police Overtime Civ Support	826.33	1,000.00	-173.67		
410.191 · Uniform Allowance	12,800.00	13,600.00	-800.00		
410.192 · Police SSI Taxes	111,722.46	111,000.00	722.46	111,723.00	723.00
410.196 · Police Health Insurance	409,762.84	419,494.00	-9,731.16		
410.197 · Police Pension Plan	150,577.98	150,577.00	0.98		
410.198 · Police Life & Disability Ins	14,326.93	16,100.00	-1,773.07		
410.199 · Police Non-Uniform Pension	4,149.39	4,200.00	-50.61		

410.200 · Police 457 Contribution	10,884.04	10,600.00	284.04	10,885.00	285.00
410.220 · Police Operating Supplies	5,892.60	6,000.00	-107.40		
410.221 · Crime Scene Supplies	708.58	1,600.00	-891.42		
410.222 · Ammunition	4,582.60	5,000.00	-417.40		
410.223 · K-9 Expenses	1,429.68	2,000.00	-570.32		
410.231 · Vehicle Fuel	34,800.50	38,861.00	-4,060.50		
410.260 · Police Minor Equipment	18,085.39	19,000.00	-914.61		
410.310 · Police Professional Services	2,144.62	5,000.00	-2,855.38		
410.314 · Civil Service Comm Solicitor	13,909.55	16,100.00	-2,190.45		
410.320 · Police Communications	16,164.96	16,000.00	164.96	16,165.00	165.00
410.341 · Police Advertising & Printing	3,225.00	3,500.00	-275.00		
410.373 · Police Maint & Repair Bldg	10,917.16	12,000.00	-1,082.84		
410.374 · Police Equipment Maint	3,293.84	4,750.00	-1,456.16		
410.420 · Police Dues, Subscriptions	517.00	1,500.00	-983.00		
410.450 · Police Contracted Services	107,980.60	110,164.00	-2,183.40		
410.451 · Police Vehicle Maintenance	34,434.46	32,000.00	2,434.46	34,435.00	2,435.00
410.460 · Police Meetings & Training	10,597.57	11,000.00	-402.43		
410.740 · Police Capital Purch, Minor	14,599.85	14,600.00	-0.15		
410.741 · Police Capital Purch, Autos	40,438.68	41,500.00	-1,061.32		
411.540 · Foreign Fire Payments	94,606.89	94,607.00	-0.11		
413.260 · Code Enforcement Minor Equip	0.00	500.00	-500.00		
413.310 · Prof Services - BIU Building	288,783.37	280,036.00	8,747.37	288,784.00	8,748.00
413.311 · Prof Services - SEO	14,090.00	15,000.00	-910.00		
413.312 · Professional Services - ZO	18,982.50	18,983.00	-0.50		
413.314 · Building Code Appeals Board	2,407.45	2,400.00	7.45	2,408.00	8.00
413.319 · Code Enforcement UCC Fees	856.00	750.00	106.00	856.00	106.00
413.341 · Code Enforcement Advertising	0.00	100.00	-100.00		
413.420 · Code Enforcement Dues & Subs	0.00	0.00	0.00		
413.450 · Code Enforcement Contracted Srv	0.00	0.00	0.00		
413.451 · Code Enforcement Vehicle Maint	0.00	0.00	0.00		
413.460 · Code Enforcement Meetings	0.00	0.00	0.00		
414.110 · Planning & Zoning Salaries	17,979.00	16,300.00	1,679.00	17,979.00	1,679.00
414.120 · Planning & Zoning OT	321.75	400.00	-78.25		
414.192 · Planning & Zoning SSI Taxes	1,487.21	1,245.00	242.21	1,488.00	243.00
414.196 · Planning & Zoning Health Ins	1,814.24	1,921.00	-106.76		
414.198 · Planning & Zoning N-U Pension	0.00	0.00	0.00		
414.199 · Zoning Life & Disability	189.00	205.00	-16.00		
414.220 · Planning & Zoning Supplies	301.63	500.00	-198.37		
414.310 · Planning & Zoning Prof Svcs	1,219.00	1,219.00	0.00		
414.313 · Planning & Zoning Engineering	13,600.36	12,500.00	1,100.36	13,601.00	1,101.00
414.314 · Planning & Zoning Legal	28,488.40	26,000.00	2,488.40	28,489.00	2,489.00
414.324 · Zoning Cell Phone	98.59	150.00	-51.41		
414.331 · Zoning Officer Mileage	95.61	400.00	-304.39		
414.341 · Planning & Zoning Advertising	1,800.00	1,800.00	0.00		
414.460 · Planning & Zoning Meetings	0.00	400.00	-400.00		
415.220 · Emer Mgmt Operating Supplies	0.00	500.00	-500.00		
415.460 · Emer Mgmt Meetings & Training	0.00	200.00	-200.00		
<b>Public Works - Other</b>					
426.227 · Recycling containers	1,125.50	1,126.00	-0.50		
427.220 · Solid Waste Coll Supplies	1,430.00	1,500.00	-70.00		
427.221 · Equip Rental - Grinder	4,680.00	4,700.00	-20.00		
427.450 · Contracted Svcs - Clean-Up Days	14,333.56	20,000.00	-5,666.44		
429.317 · TIF	101,633.59	101,634.00	-0.41		
<b>PW-Hwys, Roads &amp; Streets</b>					
430.110 · Public Works Salaries	394,471.76	394,987.00	-515.24		
430.120 · Public Works OT Wages	27,661.00	30,000.00	-2,339.00		
430.192 · Public Works SSI Taxes	32,836.59	31,088.00	1,748.59	32,837.00	1,749.00
430.196 · Public Works Insurance	207,659.44	213,252.00	-5,592.56		
430.198 · Public Works N-U Pension	38,428.70	38,360.00	68.70	38,429.00	69.00
430.199 · Public Works Life & Disab Ins	6,974.70	6,975.00	-0.30		
430.200 · Public Works Director Allowance	444.15	450.00	-5.85		
430.220 · Public Works Oper Supplies	6,879.95	15,000.00	-8,120.05		
430.232 · Public Works Diesel	25,683.19	40,000.00	-14,316.81		
430.234 · Public Works Vehicle Supplies	1,824.17	6,000.00	-4,175.83		
430.238 · Public Works Uniforms	7,787.91	7,800.00	-12.09		
430.260 · Public Works Minor Equip Purch	1,029.71	2,000.00	-970.29		
430.331 · Mileage Reimbursement	457.67	1,000.00	-542.33		
430.360 · Public Works Utilities	8,194.62	18,750.00	-10,555.38	8,200.00	-10,550.00
430.373 · Public Works Maint & Rep Bldg	8,312.97	10,000.00	-1,687.03		
430.374 · Public Works Small Equip Maint	3,090.13	5,000.00	-1,909.87		

430.375 · Public Works Heavy Equip Maint	34,884.84	35,000.00	-115.16		
430.384 · Public Works Equip Rental	500.00	500.00	0.00		
430.420 · Public Works Dues, Subscription	625.00	1,000.00	-375.00		
430.450 · Public Works Contracted Srvs	45,883.00	46,000.00	-117.00		
430.451 · Public Works Vehicle Maint	7,403.76	9,000.00	-1,596.24		
430.460 · Public Works Meetings & Trainin	843.58	1,000.00	-156.42		
430.650 · Public Works Hand Tool Purch	261.15	500.00	-238.85		
430.740 · Public Works Capital Purchases	0.00	0.00	0.00		
432.220 · Snow & Ice Rem Oper Supplies	122,930.22	125,000.00	-2,069.78		
432.375 · Snow & Ice Rem Equipment Maint	27,912.16	34,800.00	-6,887.84		
432.450 · Snow & Ice Rem Subcontractors	0.00	0.00	0.00		
433.220 · Traffic Signals & Signs Supply	2,272.87	5,000.00	-2,727.13		
433.360 · Traffic Signals & Signs Utiliti	3,361.77	4,000.00	-638.23		
433.450 · Traffic Signals Contracted Srvs	12,493.08	33,000.00	-20,506.92	29,727.00	-3,273.00
438.220 · Road Maint Supplies	81,099.50	71,250.00	9,849.50	81,100.00	9,850.00
438.610 · Road Maint Capital Construction	81,422.20	130,000.00	-48,577.80	81,423.00	-48,577.00
438.611 · Line Painting	39,860.47	39,861.00	-0.53		
439.610 · Rd Construct & Rebuild Cap Cons	244,879.73	244,880.00	-0.27		
<b>Culture and Recreation</b>					
457.540 · Community Day Celebration	1,763.99	3,000.00	-1,236.01	2,140.00	-860.00
457.541 · Bicentennial Committee Expenses	860.00	0.00	860.00	860.00	860.00
<b>Benefits and Withholding</b>					
483.194 · Employer Pd Unemployment Comp	30,177.31	30,000.00	177.31	30,178.00	178.00
483.195 · Employer Pd Worker's Comp	95,501.00	95,610.00	-109.00		
483.200 · Federal Healthcare Tax	131.04	180.00	-48.96		
483.201 · Transitional Reinsurance Fee	2,873.20	3,741.00	-867.80		
<b>Insurance</b>					
486.350 · Property & Liability Insurance	87,339.00	87,400.00	-61.00		
486.355 · Professional Bonds	6,425.01	6,800.00	-374.99		
<b>Interfund Transfers Out</b>					
492.320 · Interfund Transfer to Emer Srvs	24,000.00	54,141.00	-30,141.00		
492.350 · Interfund Transfer to Liq Fuels	2,160.92	2,161.00	-0.08		
<b>Other Expenses</b>					
491.000 · Refund of Prior Year Revenues	27,771.09	27,772.00	-0.91		

<b>Sewer Operation</b>					
<b>December 2015 Appropriations</b>					
	<b>Actual</b>	<b>Budget</b>	<b>\$ Over Budget</b>	<b>Adjusted Budget</b>	<b>Appropriation</b>
Total 429.100 · Utilities	49,677.32	77,600.00	-27,922.68		
429.110 · Public Works Dir Salary	34,888.50	42,500.00	-7,611.50		
429.192 · Social Security	1,927.81	2,678.00	-750.19		
429.197 · Non Uniform Pension Plan	1,086.44	3,150.00	-2,063.56		
Total 429.200 · BCRA Sewage Treatment	793,795.32	1,104,756.00	-310,960.68	1,068,488.00	-36,268.00
429.205 · Bank charges	65.00				
429.231 · Collection System Costs	1,567.33	2,000.00	-432.67		
429.244 · Operating Supplies	35,490.24	43,000.00	-7,509.76		
Total 429.300 · Professional Services	278,267.10	277,000.00	1,267.10	278,268.00	1,268.00
429.374 · Equipment Repair & Maintenance	54,790.59	62,500.00	-7,709.41		
429.375 · Reimbursements - P Traps	5,490.00	10,000.00	-4,510.00		
Total 429.610 · Improvements	0.00	163,015.00	-163,015.00		
Total 471.000 · Debt Principal - Long and Short	426,238.81	1,814,039.00	-1,387,800.19		
Total 472.000 · Debt Interest - Long and Short	448,137.46	960,771.00	-512,633.54		
491.000 · Refund of Prior Year Revenues*	35,000.00	0.00	35,000.00	35,000.00	35,000.00
492.530 · Contributions to fund balance	0.00	3,847,408.00	-3,847,408.00		
* Refund to Ben Salerno for Fountain Springs West tapping fees					